



City of Huron
Agenda for the Planning Commission/DRB
Wednesday, October 18, 2023 5:00pm.

I. **Call to Order**

II. **Roll Call**

III. **Adoption of the Minutes (8-16-23, 9-20-23)**

IV. **Audience Comments (3-minute time limit)** *Please step to the podium and state your name and address for the record.

V. **New Business**

PPN 42-02043.001 2401 Sawmill Parkway Commercial Signage
(N2Y)

PPN 42-00960.000 418 Cleveland Road E Commercial Signage
(Huron Nails & Spa)

PPN 42-01644.000 511 South Main Street Exterior Façade Change
(511 South Main Street, LLC)

PPN 42-01376.002 120 N. Main Street New Construction-Townhomes
(OCI Investments, LLLC)

Main Street Corridor Plan

VI. **Staff Report**

VII. **Adjournment**



TO: Chairman Boyle and Members of the Planning Commission
FROM: Erik Engle, Planning Director
RE: N2Y- Commercial Signage
DATE : October 18, 2023

Parcel No.: 42-02043.001, **Address:** 2401 Sawmill Parkway, Suite 10 & 11

Owner/Applicant: **Owner-** 2401 Sawmill Properties LTD
Applicant- Monica Fletcher, Brady Sign Company

Subject Matter/Background

N2Y, formerly located in Huron Corporate Park, has relocated to Sawmill Parkway. They are proposing one (1) circular, dimensional non-illuminated wall sign, 5' in circumference (19.63sf) and two (2) circular digital print vinyl door graphic signs, 16" circumference (2.8sf) for their new facility.

Land Use and Zoning

Multi-Business Shopping Plaza, I-1 Light Industrial Zoning

Staff Analysis/ Recommendation:

As proposed, the 19.63sf wall sign is compliant with Chapter 1129, Appendix A: Maximum Signage Area for the I-1 District which allows for up to 120sf of max signage area. The two 2.8sf door signs are compliant and design is appropriate based on existing context.

Staff recommends approval of the commercial wall and door signs as proposed.

Attachments:
DRB Application & Renderings

Planning Commission (PC)

Commercial Site Plan Application/Design Approval- Exterior/ Design-Signage Only

DATE: 8-28-23

Property Owner

Name: 2401 SAWMILL Properties
Address: 5003 MILAN Rd. - SANDUSKY, OH 44870
Phone: 419-609-7000
Email: _____

Applicant

Name: Monica h. Fletcher
Company/ Business Name: Brady Signs Co.
Mailing Address: 1721 HANCOCK ST - SANDUSKY - OH 44870
Phone: 419-626-5112
Email: monica@bradysigns.com

Location and Description of Project

Address: ²⁴⁰¹2410 SAWMILL PKWY County Parcel #: 42-02043.001
Existing Use: _____ Acreage/ Area of Site: 2.8006
Proposed Use: SCHOOL Lot # (if applicable): Suite 10 & 11
Estimated Value of Project: 4700⁰⁰ Total SF: _____

☐ New Construction
☒ Addition to Existing Structure

☐ Demolition
☐ Other: _____

Zoning District:	R-1	R-1A	R-2	R-3	B-1	B-2	B-3	<u>I-1</u>	I-2	P-1	M
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Flood Zone:	A	AE	AO	AH	X(shaded)	X	(Definitions 1135.02(14))
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Description of Project:

INSTALL (1) 5' "N24" cabinet sign. To be 2" deep fabricated aluminum and will have painted returns. Face to have digitally printed Background graphics with 1/8" thick "N24" Flat Cut acrylic to give dimensional look. Sign will be set for stud mount.

SECTION 1. SITE PLAN APPROVAL *The application fee of \$150.00 and a complete site plan with following information must be included with this application and provided in a PDF format:

- ___ Legal Survey or Plat
- ___ Dimensions of the Lot/ Property Lines
- ___ Size and Location of the Existing Structure (if applicable)
- ___ Size and Location of the Proposed Structure
- ___ Front, Rear, and Side Setbacks of Existing Structure (if applicable)
- ___ Front, Rear, and Side Setbacks of Proposed Structure
- ___ Height of the Proposed Structure
- ___ Location of Sidewalks, Driveways, Drive Aisles, Parking Areas (with markings), Fire
- ___ Lanes Location of all utility connections and infrastructure
- ___ Plan for any curb cut/ apron connection to public street

***A complete drainage plan must be included for projects that result in grading, paving, site modification, or new construction.**

SECTION 2. DESIGN APPROVAL (EXTERIOR, LANDSCAPING, LIGHTING, SIGNAGE) *

The application fee of \$150.00 and complete plans to include the following information must be included with this application and provided in a PDF format.

- ___ Photographs of Existing Conditions
- ___ Elevations of Proposed Modifications
- ___ Paint or Color Samples
- ___ Exterior Building Material Samples
- ___ Landscape Plan
- ___ Exterior Lighting Plan
- ___ Commercial Signage- Site Plan, Colored Elevations, Description of sign materials, Illumination specifications. Complete the table below:

		Sign Type (circle)			Dimensions			
Sgn #1:	Wall	Window	Other:	Height	Width	Display Area		Height (if ground)
	Ground	Changeable Copy			X	=	sq. ft.	ft.
		Sign Type (circle)			Dimensions			
Sgn #2:	Wall	Window	Other:	Height	Width	Display Area		Height (if ground)
	Ground	Changeable Copy			X	=	sq. ft.	ft.
		Sign Type (circle)			Dimensions			
Sgn #3:	Wall	Window	Other:	Height	Width	Display Area		Height (if ground)
	Ground	Changeable Copy			X	=	sq. ft.	ft.
		Sign Type (circle)			Dimensions			
Sgn #4:	Wall	Window	Other:	Height	Width	Display Area		Height (if ground)
	Ground	Changeable Copy			X	=	sq. ft.	ft.

SECTION 3. DESIGN APPROVAL (COMMERCIAL SIGNAGE ONLY) * The application fee of \$50.00 and complete plans to include the following information must be included with this application and provided in a PDF format.

- Signage Site Plan with all setback dimensions
✓ Rendering(s) of all signs with detail of dimensions, construction materials, graphics, illumination

Sign Type (circle)			Dimensions				
Sign #1:	<input checked="" type="radio"/> Wall <input type="radio"/> Ground	<input type="radio"/> Window <input type="radio"/> Changeable Copy <i>Circum: 5'</i>	Other:	Height	Width	Display Area	Height (if ground)
				X		= <i>19.63</i> sq. ft.	ft.
Sign #2:	<input type="radio"/> Wall <input type="radio"/> Ground	<input checked="" type="radio"/> Window <input type="radio"/> Changeable Copy <i>Circum: 16"</i>	Other:	Height	Width	Display Area	Height (if ground)
				X		= <i>1.40</i> sq. ft. <i>X 2</i>	<i>: 2.80</i> sq. ft.
Sign #3:	<input type="radio"/> Wall <input type="radio"/> Ground	<input type="radio"/> Window <input type="radio"/> Changeable Copy	Other:	Height	Width	Display Area	Height (if ground)
				X		= sq. ft.	ft.
Sign #4:	<input type="radio"/> Wall <input type="radio"/> Ground	<input type="radio"/> Window <input type="radio"/> Changeable Copy	Other:	Height	Width	Display Area	Height (if ground)
				X		= sq. ft.	ft.

PLEASE NOTE: Upon approval from the Planning Commission, your project may require Engineering Plan review and Storm Water/ Erosion Control Plan review, associated fees will apply. Zoning and/ or Building Permits may be required, associated permit fees will apply. All Contractors on your project must be registered with the City. Contact the Planning and Zoning Department with any questions: 419-433-5000 ext. 1302.

✓ I hereby certify that I am the owner of record of the named property or that the proposed work is authorized by the owner of record and/ or I have been authorized to make this application as an authorized agent, and we agree to conform to all applicable laws, regulations, and ordinances. All information contained within this application and supplemental materials is true and accurate to the best of my knowledge and belief.

Applicant Signature: Monica h. Fletcher Date: 8-28-23
 Owner Signature: _____ Date: _____

For Departmental Use Only:

Date of Submission: 9-1-23 Application Fee: 50 PC Meeting Date: 10/18



OWNER CONSENT FOR SIGN INSTALLATION & PERMITS

Business Name n2y

Job Site Address 2401 sawmill parkway
suite 10/11 huron ohio 44839

Date: 8/25/2023

Customer Name: John Baus

Phone Number: 4193579034

Email Address: jbaus@n2y.com

Relating to the above reference job and as of this date, I acknowledge that Brady Signs has my authorization to:

- ☒ Complete sign installation
- ☒ Apply for and receive permits on behalf of my business
- ☐ Other _____

Production of new signage will not commence until full permit approval is granted at which time the estimated lead time for project completion noted on the estimate will begin.

DocuSigned by:

John Baus

Customer Signature

John Baus

Customer Name (printed)

1721 Hancock Street • Sandusky, OH 44870
p: 419.626.5112 • f: 419.625.5985

BRADYSIGNS.COM

OPTION 1



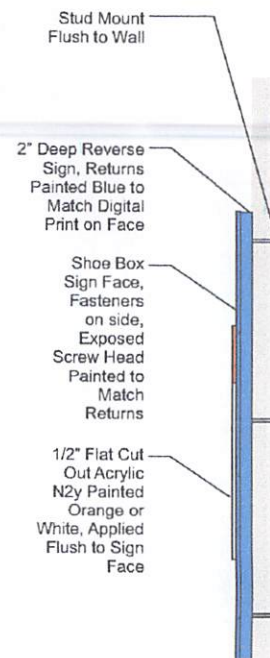
PROPOSED SIGNAGE
Scale: 1/4" = 1'-0"



DIMENSIONAL NON-ILLUMINATED WALL SIGN
Scale: 3/4" = 1'-0"

2" Deep Aluminum Fabricated Pan Sign Face
Painted Blue to Match Blue to Match Dark Blue on
Digital Print, Full color Digital Print Applied to Face,
Stud Mount Flush to Wall

n2y to be 1/2" Flat Cut Out Acrylic Letters
Applied Flush to Face Painted Orange / White



SIDE VIEW

This drawing is not to be used as an exact representation of color. Colors shown represent design intent only for customer's consideration. Copyright © 2023 Brady Signs.



1721 Hancock Street
Sandusky, OH 44870
Phone: 419-626-5112
www.bradysigns.com

These drawings are the exclusive property of Brady Signs. They represent chargeable time spent. They are submitted for your personal use under the agreement that the use of the design is in its entirety or any part will not be reproduced, copied, lent or used for any purpose without written consent from Brady Signs.

Customer: N2Y

Date: 08/21/23

Location: 2410 Sawmill Pkwy, Huron, OH 44839

File Name: Dwg77136A

Client Approval: _____

Title: _____ Date: _____

OPTION 2



PROPOSED SIGNAGE
Scale: 1/2" = 1'-0"



PROPOSED SIGNAGE
Scale: 1/2" = 1'-0"



DIGITAL PRINT VINYL DOOR GRAPHIC
Scale: 3" = 1'-0"

Print and Cut on White Vinyl

This drawing is not to be used as an exact representation of color. Colors shown represent design intent only for customer's consideration. Copyright © 2023 Brady Signs.

BRADY
SIGNS
1721 Hancock Street
Sandusky, OH 44870
Phone: 419-626-5112
www.bradysigns.com

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Customer: N2Y

Date: 08/21/23

Location: 2410 Sawmill Pkwy, Huron, OH 44839

File Name: Dwg77136A

Client Approval: _____

Title: _____ Date: _____



TO: Chairman Boyle and Members of the Planning Commission
FROM: Erik Engle, Planning Director
RE: Huron Nails & Spa
DATE : October 18, 2023

Parcel No.: 42-00960.000, **Address:** 418 Cleveland Road East -Shopping Plaza

Owner/Applicant: Owner- Jamestown Management
Applicant- Schramm Signs

Subject Matter/Background

A new business, Huron Nails & Spa, going into the Shopping Plaza, is proposing a 40sf wall sign above the entrance to their unit. The sign colors are red & white, and will be LED illuminated.

Land Use and Zoning

Community Shopping Center, I-1 Light Industrial Zoning

Staff Analysis/ Recommendation:

The proposed 40sf wall sign is compliant with Chapter 1129, Appendix A: Maximum Signage Area for the I-1 District which allows for up to 120sf of max signage area. The unit has 20ft of store frontage and the proposed sign size is consistent with existing signs within the plaza.

Staff finds the proposed sign to be simple in design and compatible with existing adjacent signage.

Staff recommends approval of the 40sf commercial wall sign as proposed.

Attachments:
DRB Application & Renderings

Planning Commission (PC)

Commercial Site Plan Application/Design Approval- Exterior/Design-Signage Only

DATE: 9.20.23

Property Owner

Name: Janestown Management
Address: 25068 Center Ridge Rd. Westlake, OH 44145
Phone: 440-899-0640
Email: _____

Applicant

Name: Dean Schramm
Company/Business Name: Schramm Signs
Mailing Address: 41431 Schedden Rd. Elyria, OH 44035
Phone: 440-213-8091
Email: Schrammsigns@oh.rr.com

Location and Description of Project

Address: 418 Cleveland Rd. East. County Parcel #: 42-00960.000
Existing Use: _____ Acreage/Area of Site: _____
Proposed Use: _____ Lot # (if applicable): _____
Estimated Value of Project: \$3000.00 Total SF: 40

☐ New Construction
☐ Addition to Existing Structure

☐ Demolition
☒ Other: SIGNAGE

Zoning District:	R-1	R-1A	R-2	R-3	B-1	B-2	B-3	I-1	I-2	P-1	M
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Flood Zone:	A	AE	AO	AH	X (shaded)	X
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 (Definitions 1135.02(14))

Description of Project:

INSTALL SIGN CAN ON WALL

SECTION 3. DESIGN APPROVAL (COMMERCIAL SIGNAGE ONLY) * The application fee of \$50.00 and complete plans to include the following information must be included with this application and provided in a PDF format.

- ☒ Signage Site Plan with all setback dimensions
- ☒ Rendering(s) of all signs with detail of dimensions, construction materials, graphics, illumination

Sign Type (circle)				Dimensions			
Sign #1:	<u>Wall</u> Ground	Window Changeable Copy	Other:	Height <u>48"</u>	Width <u>120"</u>	Display Area <u>40</u> sq. ft.	Height (if ground) ft.
Sign #2:	Wall Ground	Window Changeable Copy	Other:	Height X	Width =	Display Area sq. ft.	Height (if ground) ft.
Sign #3:	Wall Ground	Window Changeable Copy	Other:	Height X	Width =	Display Area sq. ft.	Height (if ground) ft.
Sign #4:	Wall Ground	Window Changeable Copy	Other:	Height X	Width =	Display Area sq. ft.	Height (if ground) ft.

PLEASE NOTE: Upon approval from the Planning Commission, your project may require Engineering Plan review and Storm Water/Erosion Control Plan review, associated fees will apply. Zoning and/or Building Permits may be required, associated permit fees will apply. All Contractors on your project must be registered with the City. Contact the Planning and Zoning Department with any questions: 419-433-5000 ext. 1302.

☒ I hereby certify that I am the owner of record of the named property or that the proposed work is authorized by the owner of record and/or I have been authorized to make this application as an authorized agent, and we agree to conform to all applicable laws, regulations, and ordinances. All information contained within this application and supplemental materials is true and accurate to the best of my knowledge and belief.

Applicant Signature: [Signature] Schramm Signs
Dean Schramm Date: 9-20-2023

Owner Signature: [Signature] Steve Hammerschmidt Date: 9/20/2023

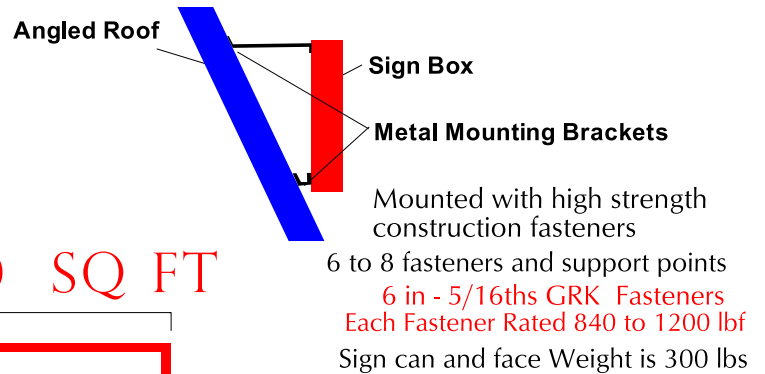
For Departmental Use Only:

Date of Submission: 9-21-23 Application Fee: \$50 PC Meeting Date: 10-18-23

Huron Nails & Spa Building Sign



Mounting Method For Huron Nails



Aluminum Construction White Polycarbonate Faces with High Performance Graphics on first surface, White LED illumination, Red Sign Can & Red Retainers

Building Sign Illumination

Hanley White LED Modules for Sign
2.48 watts Per Sq Ft - 421.6 Lumens/sq ft
421.6 Lumens/foot² = 33.54 candela/foot²
33.54 candela/foot² = 361.021553761 candela/meter²
750 candela/meter² or Less allowed



Huron Nails & Spa

Business
418 Cleveland Rd. E., Huron, Ohio 44839
Location

September 20th, 2023 941-405-5785

Date
Tommy Tran
Contact

NOTICE: ALL DRAWINGS AND CONCEPTS ARE THE PROPERTY OF SCHRAMM SIGNS UNTIL PAID FOR, UNAUTHORIZED DISTRIBUTION OR USE WILL INCUR A \$500.00 DOLLAR CHARGE.



TO: Chairman Boyle and Members of the Planning Commission
FROM: Erik Engle, Planning Director
RE: 511 South Main Street- New Business/Exterior Design Changes
DATE : October 18, 2023

Parcel No.: 42-01644.000 **Address:** 511 S. Main Street **Zoning:** B-3
(515 South Main)

Owner/Applicant: **Owner-** 511 South Main Street, LLC – Joe Dike
Applicant- Same

Subject Matter/Background

This parcel contains two structures, a business on the corner, and a residential home that has been used as a 2-unit long term rental. As understood by staff, one of the units will be renovated to be used for a new restaurant business and the other unit will remain residential. At this time, the applicant is proposing improvements to the exterior façade of the structure to include new siding and roofing.

Land Use and Zoning

According to the owner, the residential structure has been used as two long term rentals. One unit will remain a residential long-term rental, and one will become the new restaurant business.

Staff Analysis:

The applicant is proposing improvements to include new siding and roofing in anticipation of a new retail/restaurant use in one of the units. As understood by staff, interior renovations are being planned, but, at this time, the only improvement consideration is for the exterior façade. As proposed, the siding color will be Pacific Blue with all trim being white and they will be replacing the roof (material spec unknown; existing is asphalt shingles). Applicant will bring material samples to the meeting for members to review.

Staff spoke to the prospective business tenant who had questions regarding signage and potentially an outdoor seating area in the future. She inquired about any other permits required and was advised to contact the Health Department for any permitting and plan review required. She was advised to contact our office once she had some final plans that can be reviewed for code compliance and was advised that PC/DRB approval would be required before permits can be issued for same. It is important to note, at such time when the unit is ready for occupancy, and the tenant/owner has plans for signage and/or

outdoor seating, staff can then review and determine the required parking requirements, landscaping/lighting plans, etc. Staff advised the applicant of parking regulations that will need to be determined pursuant to Chapter 1133.03.

Recommendation:

Staff recommends approval of the siding and roof replacement pending confirmation of roof material and color.

Attachments:
DRB Application

Planning Commission (PC)

Commercial Site Plan Application/Design Approval- Exterior/Design-Signage Only

DATE: _____

Property Owner

Name: 511 South Main St LLC
Address: 511 South Main
Phone: 419 602 6352
Email: jamesdike_2000@yahoo.com

Applicant

Name: Joe Dike
Company/Business Name: 511 South Main St LLC
Mailing Address: 511 South Main
Phone: 419 602 6352
Email: jamesdike_2000@yahoo.com

Location and Description of Project

Address: 515 S. Main County Parcel #: 42-01644.000
Existing Use: _____ Acreage/Area of Site: _____
Proposed Use: _____ Lot # (if applicable): _____
Estimated Value of Project: \$25,000 Total SF: _____

☐ New Construction
☐ Addition to Existing Structure

☐ Demolition
☒ Other: Repairs

Zoning District:	R-1	R-1A	R-2	R-3	B-1	B-2	B-3	I-1	I-2	P-1	M
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Flood Zone:	A	AE	AO	AH	X (shaded)	X
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 (Definitions 1135.02(14))

Description of Project:

extension siding
Roof

SECTION 1. SITE PLAN APPROVAL *The application fee of \$150.00 and a complete site plan with following information must be included with this application and provided in a PDF format:

*The application fee of \$150.00 and a complete site plan are included with this application and provided in a PDF

- | | |
|-------|---|
| _____ | Legal Survey or Plat |
| _____ | Dimensions of the Lot/Property Lines |
| _____ | Size and Location of the Existing Structure (if applicable) |
| _____ | Size and Location of the Proposed Structure |
| _____ | Front, Rear, and Side Setbacks of Existing Structure (if applicable) |
| _____ | Front, Rear, and Side Setbacks of Proposed Structure |
| _____ | Height of the Proposed Structure |
| _____ | Location of Sidewalks, Driveways, Drive Aisles, Parking Areas (with markings), Fire |
| _____ | Lanes Location of all utility connections and infrastructure |
| _____ | Plan for any curb cut/apron connection to public street |

***A complete drainage plan must be included for projects that result in grading, paving, site modification, or new construction.**

SECTION 2. DESIGN APPROVAL (EXTERIOR, LANDSCAPING, LIGHTING, SIGNAGE) *
The application fee of \$150.00 and complete plans to include the following information must be included with this application and provided in a PDF format.

The application fee of \$150.00 and complete plans to include the following information must be included with this application and provided in a PDF format.

- ☐ Photographs of Existing Conditions
☐ Elevations of Proposed Modifications
☒ Paint or Color Samples
☐ Exterior Building Material Samples
☐ Landscape Plan
☐ Exterior Lighting Plan
☐ Commercial Signage- Site Plan, Colored Elevations, Description of sign materials, Illumination specifications. Complete the table below:

		Sign Type (circle)		Dimensions			
Sign #1:	Wall	Window	Other:	Height	Width	Display Area	Height (if ground)
	Ground	Changeable Copy		_____ X _____	= _____ sq. ft.	_____ ft.	
		Sign Type (circle)		Dimensions			
Sign #2:	Wall	Window	Other:	Height	Width	Display Area	Height (if ground)
	Ground	Changeable Copy		_____ X _____	= _____ sq. ft.	_____ ft.	
		Sign Type (circle)		Dimensions			
Sign #3:	Wall	Window	Other:	Height	Width	Display Area	Height (if ground)
	Ground	Changeable Copy		_____ X _____	= _____ sq. ft.	_____ ft.	
		Sign Type (circle)		Dimensions			
Sign #4:	Wall	Window	Other:	Height	Width	Display Area	Height (if ground)
	Ground	Changeable Copy		_____ X _____	= _____ sq. ft.	_____ ft.	

SECTION 3. DESIGN APPROVAL (COMMERCIAL SIGNAGE ONLY) * The application fee of \$50.00 and complete plans to include the following information must be included with this application and provided in a PDF format.

___ Signage Site Plan with all setback dimensions

___ Rendering(s) of all signs with detail of dimensions, construction materials, graphics, illumination

Sign Type (circle)				Dimensions			
Sign #1:	Wall	Window	Other:	Height	Width	Display Area	Height (if ground)
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	Ground	Changeable Copy		X	=	sq. ft.	ft.
Sign #3:	Wall	Window	Other:	Height	Width	Display Area	Height (if ground)
	Ground	Changeable Copy		X	=	sq. ft.	ft.
Sign #4:	Wall	Window	Other:	Height	Width	Display Area	Height (if ground)
	Ground	Changeable Copy		X	=	sq. ft.	ft.

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AO I hereby certify that I am the owner of record of the named property or that the proposed work is authorized by the owner of record and/or I have been authorized to make this application as an authorized agent, and we agree to conform to all applicable laws, regulations, and ordinances. All information contained within this application and supplemental materials is true and accurate to the best of my knowledge and belief.

Applicant Signature: 9-9-02 Date: _____

Owner Signature: 9-9-02 Date: _____

For Departmental Use Only:

Date of Submission: 10/9/23 Application Fee: 50 PC Meeting Date: 10-18-23 ✓
 (Waiving Deadline)

ZONING B-3

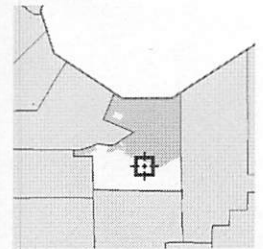
FLOOD ZONE: X



Richard H. Jeffrey
 ERIE COUNTY AUDITOR | ERIE COUNTY, OHIO



Overview



Legend

- ☐ Parcels
- Parcel Dimensions
- Parcel Dimensions (Original)
- Lot Lines
- Lot Line Labels
- Streets
- Addresses
 - 0
 - 1
 - <all other values>

Parcel ID	42-01644.000	Acreage	0.25	Last 2 Date	Price	Vol/Page
Owner	OLD SOUTH MAIN STREET HOLDINGS LLC (Owner Address)			Sales	2/2/2021	\$160000 202101215
	OLD SOUTH MAIN STREET (Tax Payer Address)				12/29/2004	/
Property Address	511 MAIN HURON					

Date created: 10/9/2023
 Last Data Uploaded: 10/9/2023 3:17:39 AM

Developed by Schneider
 GEOSPATIAL

PARCEL CONTAINS TWO STRUCTURES



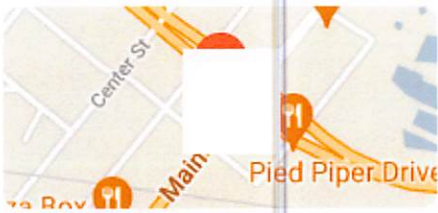
Huron, Ohio

Google Street View

Sep 2021

[See more dates](#)

Image capture: Sep 2021 © 2023 Google





TO: Chairman Boyle and Members of the Planning Commission
FROM: Erik Engle, Planning Director
RE: Main Street Townhome Condominiums
DATE : October 18, 2023

Current Zoning District: B-3 & R-3 **Parcel No.:** 42-01376.002

Existing Land Use: Commercial/Parking Lot

Proposed Land Use: Single-family attached dwellings (townhomes)

Property Size: +/- 0.57 acres

Traffic Considerations: All parking proposed will be housed off-street and will not adversely affect traffic flow or contribute to increased congestion based on the proposed use.

Staff Analysis:

The majority of the parcel is zoned B-3 General Business District, a small section is zoned R-3 (refer to map). Pursuant to Section 1125.03 B-3 General Business District (A) (14): Any use permitted and as regulated in the residence district adjoining the B-3 District; and if there are adjoining two or more different categories of residence districts, the regulations of the least restrictive residence district shall prevail. The parcel is surrounded by R-2 & R-3 Residential Zoning, the category that these townhomes would fall into would be R-3- 1123.04 Attached Single Family Dwellings.

Site & Parking Plan Review

The applicant is proposing fourteen (14), 4-story, market-rate Townhome Condominiums on a corner lot, currently a parking lot, along North Main Street. As proposed, the project required variances (Height, Lot Area Per Family, Front Yard Depth and Rear Yard Depth which were approved by the BZA on 12-12-22 as follows:

Proposed Site Plan- 14 Townhomes

Variance Approved:

Height: 4 stories, 45'

Additional Story and 5' Height Variance

Lot Area: 24,829 sf/0.57 acres

N/A – Compliant since this is the minimum per lot

Lot Frontage: 330'-4" Main Steet/23'-5" Per Unit

N/A – Compliant since this is the minimum per lot

Lot Area Per Family: 3,500 sf	7 units based on the 14 units proposed; 7 units maximum based on lot area divided by 3,500 sf
Front Yard Depth: 25'-0" (Corner lot- Main Street & South Street)	25'-0" on Main and 6'-0" on South
Side Yards: 10' at South Side, North Side N/A	N/A- Compliant with code.
Rear Yard Depth: 22'-4"	7'-8" rear yard setback variance; 30'-0" required based on code
Parking: 2 per unit + 16 visitor spaces	N/A – Compliant with code.

The site plan submitted meets all required variances, off-street parking requirements, and provides ample circulation for prospective residents, utilizing a shared rear access lane with garages built into all units, except for the end units. The proposed rear parking area covers the required 4 spaces for these units.

Lighting and Landscaping Plan Review

A rear buffer yard is indicated on the site plan, lined with 92 skyrocket junipers (15' ft. in height/4 ft. in width), 7 giant arborvitae (7ft. in width), and capped at the north end shared drive entrance with 2 blue spruce (7ft. in width). Ornamental hydrangeas, spirea, yew, and boxwoods will line the frontage along Main Street. Based on the number of plants indicated the landscape plan meets the minimum requirements set in the landscape ordinance.

The lighting (photometric) plan indicates very low to no light emission to the neighboring properties, especially those residential lots abutting the west side of the parking lot area and driveway. Staff feels the lighting scheme is appropriate and poses no detriment to neighboring properties.

Design Review

The design and scale of the townhouses is compatible with the type of development set in the 2020 Masterplan specifically depicted for this site as appropriate infill. The units will feature varying facades of gray metal board and batten siding with stone accent veneer on the lower level and a faux horizontal wood siding for the remaining units with accent board and batten. All units will feature black accented doors and windows with a four-over-one typology. Material appears to be either vinyl or aluminum clad. The orientation of the structures at a slight angle allows for a front concrete patio with contemporary black aluminum metal rails. Downlighting specs have been provided and appear to be discreet and cohesive with the design.

Overall, staff finds the orientation, materials, and design of the townhouses to be appropriate for the downtown neighborhood.

Staff Recommendation

Staff is recommending approval of the site plan and design plans as submitted with the following conditions:

1. Cross-access easement and an agreement with the City must be filed to allow circulation between sites at the southern end of the site; the cross-access easement must be recorded before any permits are issued. (1133.14 Non-Residential Joint Use Driveways and Cross-Access Easements)
2. Include directional signage for the one-way driveway/parking area.

Attachments:

PC/ Application, Plans & Renderings

BZA – Finding of Fact

Planning Commission (PC)

Commercial Site Plan Review/Design Review- Exterior/Design Review- Signage Only

The PC/DRB meets monthly on the third Wednesday of each month at 5:00p.m.in Council Chambers at City Hall, 417 Main Street, Huron, OH. This application is used for site plan approval, exterior design review including landscaping and lighting, and signage for new construction and any/all improvements of existing commercial/business/industrial facilities.

*** Prior to submission of this application, an initial plan review meeting with the Planning & Zoning Department is required.**

2023 PC/DRB MEETING DATE	APPLICATION SUBMISSION DEADLINE
JANUARY 18	DECEMBER 21, 2022
FEBRUARY 15	JANUARY 19
MARCH 15	FEBRUARY 16
APRIL 19	MARCH 16
MAY 17	APRIL 20
JUNE 21	MAY 18
JULY 19	JUNE 22
AUGUST 16	JULY 20
SEPTEMBER 20	AUGUST 17
OCTOBER 18	SEPTEMBER 21
NOVEMBER 15	OCTOBER 19
DECEMBER 20	NOVEMBER 16

Planning Commission (PC)

Commercial Site Plan Application/Design Approval- Exterior/Design-Signage Only

DATE: 09/20/23

Property Owner

Name: OCI Investments, LLC
Address: 7704 Milan Rd Sandusky, OH 44870
Phone: 440.666.3725
Email: mruta@lodgingllc.com

Applicant

Name: Joshua Fox, Architect
Company/Business Name: Fox Architectural Design, LLC
Mailing Address: 3105 Huron Avery Rd. Huron, OH 44839
Phone: 419.677.6961
Email: josh@foxarchitectural.com

Location and Description of Project

Address: 120 Main Street County Parcel #: 42-01376.002
Existing Use: Commercial/Parking Lot Acreage/Area of Site: 0.57
Proposed Use: 14 Unit Townhomes Lot # (if applicable): _____
Estimated Value of Project: Unknown at this time Total SF: _____

☒ New Construction ☐ Demolition
☐ Addition to Existing Structure ☐ Other: _____

Zoning District:	R-1	R-1A	R-2	R-3	B-1	B-2	B-3	I-1	I-2	P-1	M
-------------------------	-----	------	-----	------------	-----	-----	------------	-----	-----	-----	---

Flood Zone:	A	AE	AO	AH	X (shaded)	X	(Definitions 1135.02(14))
--------------------	---	----	----	----	------------	---	---------------------------

Description of Project:

Project as approved through zoning and variance processes will be a 14 unit Condo facility located facing Main St, with garages on the first floor, and living spaces on the second, third and fourth floors.

SECTION 1. SITE PLAN APPROVAL *The application fee of \$150.00 and a complete site plan with following information must be included with this application and provided in a PDF format:

- ☐ Legal Survey or Plat
- ☐ Dimensions of the Lot/Property Lines
- ☐ N/A Size and Location of the Existing Structure (if applicable)
- ☐ Size and Location of the Proposed Structure
- ☐ N/A Front, Rear, and Side Setbacks of Existing Structure (if applicable)
- ☐ Front, Rear, and Side Setbacks of Proposed Structure
- ☐ Height of the Proposed Structure
- ☐ Location of Sidewalks, Driveways, Drive Aisles, Parking Areas (with markings), Fire
- ☐ Lanes Location of all utility connections and infrastructure
- ☐ N/A Plan for any curb cut/apron connection to public street

***A complete drainage plan must be included for projects that result in grading, paving, site modification, or new construction.**

SECTION 2. DESIGN APPROVAL (EXTERIOR, LANDSCAPING, LIGHTING, SIGNAGE) *
The application fee of \$150.00 and complete plans to include the following information must be included with this application and provided in a PDF format.

- ☐ Photographs of Existing Conditions
- ☐ Elevations of Proposed Modifications
- ☐ Paint or Color Samples
- ☐ Exterior Building Material Samples
- ☐ Landscape Plan
- ☐ Exterior Lighting Plan

☐ N/A Commercial Signage- Site Plan, Colored Elevations, Description of sign materials, Illumination specifications. Complete the table below:

Sign Type (circle)				Dimensions					
Sign #1:	Wall	Window	Other:	Height		Width		Display Area	Height (if ground)
	Ground	Changeable Copy			X		=	sq. ft.	ft.
Sign Type (circle)				Dimensions					
Sign #2:	Wall	Window	Other:	Height		Width		Display Area	Height (if ground)
	Ground	Changeable Copy			X		=	sq. ft.	ft.
Sign Type (circle)				Dimensions					
Sign #3:	Wall	Window	Other:	Height		Width		Display Area	Height (if ground)
	Ground	Changeable Copy			X		=	sq. ft.	ft.
Sign Type (circle)				Dimensions					
Sign #4:	Wall	Window	Other:	Height		Width		Display Area	Height (if ground)
	Ground	Changeable Copy			X		=	sq. ft.	ft.

SECTION 3. DESIGN APPROVAL (COMMERCIAL SIGNAGE ONLY) * The application fee of \$50.00 and complete plans to include the following information must be included with this application and provided in a PDF format.

N/A Signage Site Plan with all setback dimensions

___ Rendering(s) of all signs with detail of dimensions, construction materials, graphics, illumination

Sign Type (circle)				Dimensions			
Sign #1:	Wall	Window	Other:	Height	Width	Display Area	Height (if ground)
	Ground	Changeable Copy			X	=	sq. ft. ft.
Sign Type (circle)				Dimensions			
Sign #2:	Wall	Window	Other:	Height	Width	Display Area	Height (if ground)
	Ground	Changeable Copy			X	=	sq. ft. ft.
Sign Type (circle)				Dimensions			
Sign #3:	Wall	Window	Other:	Height	Width	Display Area	Height (if ground)
	Ground	Changeable Copy			X	=	sq. ft. ft.
Sign Type (circle)				Dimensions			
Sign #4:	Wall	Window	Other:	Height	Width	Display Area	Height (if ground)
	Ground	Changeable Copy			X	=	sq. ft. ft.

PLEASE NOTE: Upon approval from the Planning Commission, your project may require Engineering Plan review and Storm Water/Erosion Control Plan review, associated fees will apply. Zoning and/or Building Permits may be required, associated permit fees will apply. All Contractors on your project must be registered with the City. Contact the Planning and Zoning Department with any questions: 419-433-5000 ext. 1302.

X I hereby certify that I am the owner of record of the named property or that the proposed work is authorized by the owner of record and/or I have been authorized to make this application as an authorized agent, and we agree to conform to all applicable laws, regulations, and ordinances. All information contained within this application and supplemental materials is true and accurate to the best of my knowledge and belief.

Applicant Signature: Joshua Fox, Architect Date: 09/20/23

Owner Signature: Mike Ruta, Owner Date: 09/20/23

For Departmental Use Only:

Date of Submission: 9-21-23

Application Fee: \$300 PC Meeting Date: 10-18-23



December 13, 2022

OCI Investments, LLC
7704 Milan Road
Sandusky, OH 44870

**BEFORE THE BOARD OF BUILDING AND ZONING APPEALS
OF THE CITY OF HURON, OHIO**

IN THE MATTER OF:

Current Zoning District: B-3 & R-3

Parcel No.: 42-01376.002

Project Description- Area Variance

Existing Land Use: Commercial/Parking Lot

Proposed Land Use: Single-family attached dwellings (townhomes)

Property Size: +/- 0.57 acres

Proposed Site Plan- 14 Townhomes

Variance Needed:

Height: 4 stories, 45'

Additional Story and 5' Height Variance

Lot Area: 24,829 sf/0.57 acres

N/A – Compliant since this is the minimum per lot

Lot Frontage: 330'-4" Main Street/23'-5" Per Unit

N/A – Compliant since this is the minimum per lot

Lot Area Per Family: 3,500 sf

7 units based on the 14 units proposed; 7 units maximum based on lot area divided by 3,500 sf

Front Yard Depth: 25'-0"
(Corner lot- Main Street & South Street)

25'-0" on Main and 6'-0" on South

Side Yards: 10' at South Side, North Side N/A

N/A- Compliant

Rear Yard Depth: 22'-4"

7'-8" rear yard setback variance; 30'-0" required based on code

Parking: 2 per unit + 16 visitor spaces

N/A – Compliant



Upon evidence presented at a public hearing held in the Council Chambers at Huron City Hall, 417 Main Street, Huron, OH 44839 at 6:30p.m. on Monday, December 12, 2022, the BZA Board took the following action:

Granted: Approval of the request for area variances at PPN 42-01376.002 to allow for the construction of fourteen (14) townhomes and authorizing variances as follows:

Proposed Site Plan- 14 Townhomes

Variance Granted:

Height: 4 stories, 45'

Additional Story and 5' Height Variance

Lot Area Per Family: 3,500 sf

7 units based on the 14 units proposed; 7 units maximum based on lot area divided by 3,500 sf

Front Yard Depth: 25'-0"
(Corner lot- Main Street & South Street)

25'-0" on Main and 6'-0" on South

Rear Yard Depth: 22'-4"

7'-8" rear yard setback variance; 30'-0" required based on code

1139.02 (e) A decision of the Board shall not become final until the expiration of five (5) days from the date such decision is made, unless the Board finds the immediate taking of effect of such decision is necessary for the preservation of property or personal rights and shall so certify on the record.



Erik Engle, Planning Director

Retain this document with your property records/deed.

Existing Site Photos

September 20, 2023 Main St. Property



Existing Site Photos

September 20, 2023 Main St. Property



Existing Site Photos

September 20, 2023 Main St. Property



Existing Site Photos

September 20, 2023 Main St. Property



Existing Site Photos

September 20, 2023 Main St. Property



Existing Site Photos

September 20, 2023 Main St. Property



IMPROVEMENT PLANS FOR RUTA TOWNHOMES - OCI INVESTMENTS, LLC.

120 MAIN STREET
CITY OF HURON, ERIE COUNTY, OHIO

GENERAL NOTES

SPECIFICATIONS

THE CURRENT CONSTRUCTION AND MATERIAL SPECIFICATIONS (CMS) OF THE STATE OF OHIO DEPARTMENT OF TRANSPORTATION, INCLUDING ANY CHANGES AND SUPPLEMENTAL SPECIFICATIONS LISTED HEREON, SHALL GOVERN THIS PROJECT.

ITEM NUMBERS REFERRED TO HEREIN CONFORM TO THE STATE OF OHIO DEPARTMENT OF TRANSPORTATION, CONSTRUCTION AND MATERIAL SPECIFICATIONS, CURRENT EDITION.

ELEVATION DATUM

ALL ELEVATIONS ARE BASED ON NAVD '88 DATUM AND VERIFIED BY A SURVEYOR.

PERMITS

THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS.

UNDERGROUND UTILITIES

THE LOCATIONS OF THE UNDERGROUND UTILITIES SHOWN ON THE PLANS HAVE BEEN OBTAINED BY DILIGENT FIELD CHECKS AND SEARCHES OF AVAILABLE RECORDS. IT IS BELIEVED THAT THEY ARE ESSENTIALLY CORRECT, BUT CONTRACTORS DESIGN ENGINEERING, NOR THE CITY OF HURON GUARANTEE THEIR ACCURACY OR COMPLETENESS. THE EXACT LOCATION AND PROJECTION OF THE UNDERGROUND UTILITIES ARE THE RESPONSIBILITY OF THE CONTRACTOR.

OHIO UTILITY PROTECTION SERVICE

THE CONTRACTOR SHALL NOTIFY THE OHIO UTILITY PROTECTION SERVICE [800-362-2764] FORTY-EIGHT [48] HOURS BEFORE HIS WORK IS IN PROGRESS AND SHALL MAKE SUCH ARRANGEMENTS AS ARE NECESSARY IN THE EVENT EMERGENCY REPAIRS SHOULD BECOME NECESSARY.

LIST OF UTILITIES

GAS	COLUMBIA GAS OF OHIO, INC. 1800 BROAD AVE. FINDLAY, OHIO 45840 PHONE: 419-277-1349	SANITARY SEWERS	ERIE COUNTY DEPARTMENT OF ENVIRONMENTAL SERVICES 554 RIVER ROAD HURON, OHIO 44839 PHONE: 419-433-7303
TELEPHONE	FRONTIER 83 TOWNSEND AVE. NORWALK, OHIO 44857 PHONE: 419-744-3619	ELECTRIC	OHIO EDISON COMPANY 2508 W. PERKINS AVE. SANDUSKY, OHIO 44870 PHONE: 419-627-6881
CABLE TV.	BUCKEYE BROADBAND 2700 OREGON ROAD NORTHWOOD, OHIO 43619 PHONE: 419-724-3713	STREET & STORM	CITY OF HURON STREET DEPARTMENT 10 WATERWORKS DR. HURON, OHIO 44839 PHONE: 419-433-9504

EXISTING ROADWAY DRAINAGE

EXISTING ROADWAY DITCHES, CULVERTS PIPES AND DRIVES DISTURBED DURING CONSTRUCTION SHALL BE REGRADED AND REPLACED TO CONFORM TO CONDITIONS PRIOR TO CONSTRUCTION AND SHALL BE SEEDED AS DIRECTED BY THE ENGINEER OR THE CITY.

LAWN AREAS

EXISTING LAWN AREAS DISTURBED DURING CONSTRUCTION SHALL BE REPLACED TO A CONDITION EQUAL TO OR EXCEEDING ORIGINAL CONDITION AND AS APPROVED BY THE ENGINEER OR THE CITY. A. Pavement. The plain Portland cement concrete pavement

EXISTING TREES

EXISTING TREES NOT INDICATED FOR REMOVAL SHALL NOT BE DISTURBED DURING CONSTRUCTION OPERATIONS. ALL CUTS OR WOUNDS MEASURING ONE OR MORE INCHES IN DIAMETER AND ALL EXPOSED WOOD OR SCARS RESULTING FROM THIS CONSTRUCTION SHALL BE PAINTED WITH AN APPROVED PAINT OR TREE WOUND DRESSING.

ITEM 614, MAINTAINING TRAFFIC

TRAFFIC SHALL BE MAINTAINED ON ALL ROADS OF THIS PROJECT AT ALL TIMES.

LENGTH AND DURATION OF THE LANE CLOSURES AND RESTRICTIONS SHALL BE AT THE APPROVAL OF THE CITY. IT IS THE INTENT TO MINIMIZE THE IMPACT TO THE TRAVELING PUBLIC.

THE CONTRACTOR SHALL PROVIDE, ERECT AND MAINTAIN SIGNS, BARRICADES, GATES AND LIGHTS IN ACCORDANCE WITH ODOT 614 AND OTHER APPLICABLE PORTIONS OF THE SPECIFICATIONS, AS WELL AS THE OHIO MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES. PAYMENT FOR ALL LABOR, EQUIPMENT AND MATERIALS SHALL BE INCLUDED IN THE LUMP SUM PRICE FOR ITEM 614 MAINTAIN TRAFFIC, UNLESS SEPARATELY ITEMIZED IN THE PLAN.

UTILITY SERVICES

RELOCATION OR REPAIR OF UTILITY SERVICES, DISTURBED BY THE WORK WILL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE COST SHALL BE INCLUDED IN THE COST OF THE PROJECT.

UTILITY POLES

ALL UTILITY POLES WITHIN THIS PROJECT THAT REQUIRE RELOCATION SHALL BE MOVED BY THERE RESPECTIVE OWNERS SO NOT AS TO INTERFERE WITH THE PROGRESS OF THE WORK.

THE CONTRACTOR SHALL COORDINATE WITH THE RESPECTIVE UTILITY OWNERS TO PROVIDE ADEQUATE TEMPORARY SUPPORT WHEN TRENCHING NEAR THE REMAINING UTILITY POLES AND GUY WIRES.

CONSTRUCTION LAYOUT

ALL CONSTRUCTION LAYOUT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE PROVIDED BY A LICENSED PROFESSIONAL SURVEYOR.

GENERAL NOTES

THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTROLLING DUST, DIRT AND MUD DUE TO CONSTRUCTION IN THE PROJECT AREA DURING THE LIFE OF THE PROJECT. DUST CONTROL OPERATIONS SHALL BE PERFORMED BY THE CONTRACTOR AT THE TIME, LOCATION AND IN THE AMOUNT ORDERED BY THE OWNER AND SHALL BE IN ACCORDANCE WITH ITEM 616 OF THE OHIO DEPARTMENT OF TRANSPORTATION CONSTRUCTION AND MATERIAL SPECIFICATIONS. THE COST FOR THESE OPERATIONS SHALL BE CONSIDERED AS GENERAL OVERHEAD COSTS AND NO SEPARATE COMPENSATION WILL BE

THE CONTRACTOR SHALL BE RESPONSIBLE FOR TEMPORARY STORM WATER POLLUTION, SOIL EROSION AND SILTATION CONTROL DUE TO CONSTRUCTION WITHIN THE PROJECT AREA AND DURING THE LIFE OF THE PROJECT. THESE TEMPORY OPERATIONS SHALL BE PERFORMED IN ACCORDANCE WITH ODOT #207, LATEST REVISION AND AS DIRECTED BY THE ENGINEER. COST FOR SAID CONTROLS SHALL BE CONSIDERED AS GENERAL OVERHEAD COSTS AND NO SEPARATE COMPENSATION WILL BE MADE.

NOT ALL GAS LINES AND FIBER OPTICS LINES MAY HAVE BEEN MARKED.

WHERE IT IS NECESSARY TO DISTURB SIGNS, LAWNS, DRIVEWAYS, LANDSCAPING, FENCES, SHRUBS, ETC. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO RESTORE THE AREA TO A CONDITION AT LEAST AS GOOD AS IT WAS PRIOR TO THE ONSET OF CONSTRUCTION.



SITE MAP
N. T.S.

INDEX

NO.	DESCRIPTION
1	TITLE SHEET & GENERAL NOTES
2	SITE DETAILS
3	EXISTING SITE & DEMOLITION PLAN
4	SITE DIMENSION & UTILITY PLAN
5	SITE GRADING PLAN
6	MODIFIED STORM WATER POLLUTION PREVENTION PLAN

PLANS PREPARED BY

Engineer & Surveyor

Contractors Design Engineering, Ltd.
1623 Old State Road
Norwalk, Ohio 44857
Phone: (419) 663-0885
Fax: (419) 663-2805
E-Mail: alex@contractorsdesigneng.com

Alexander B. Etchill

Alexander B. Etchill, P.E., P.S.

the 21st day of September, 20 23




RUTA TOWNHOMES - OCI INVESTMENTS, LLC
120 MAIN STREET
CITY OF HURON, ERIE COUNTY, OHIO
TITLE SHEET & GENERAL NOTES

CONTRACTORS
DESIGN ENGINEERING
CONSULTING ENGINEERS & SURVEYORS
NORWALK, OHIO

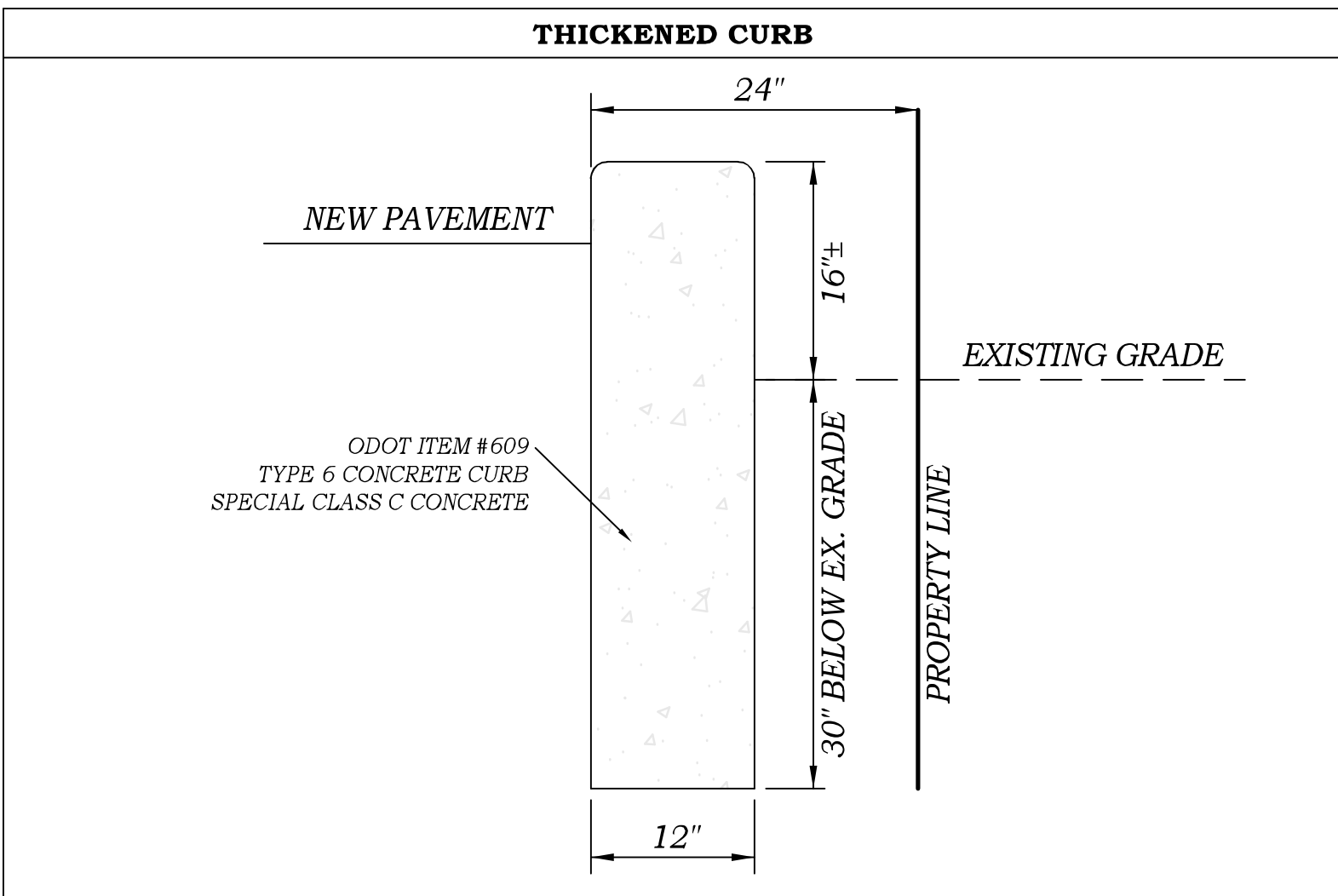
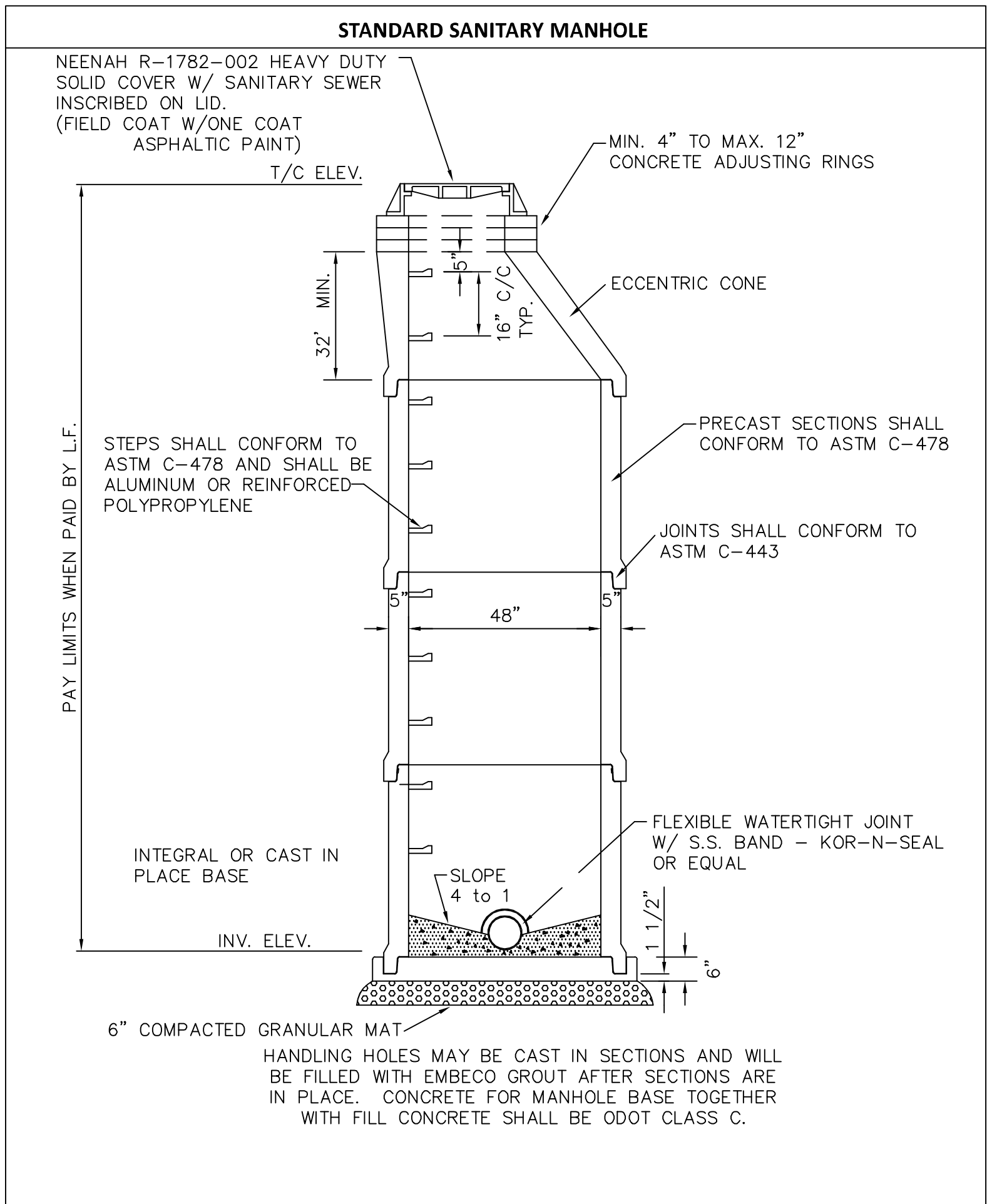
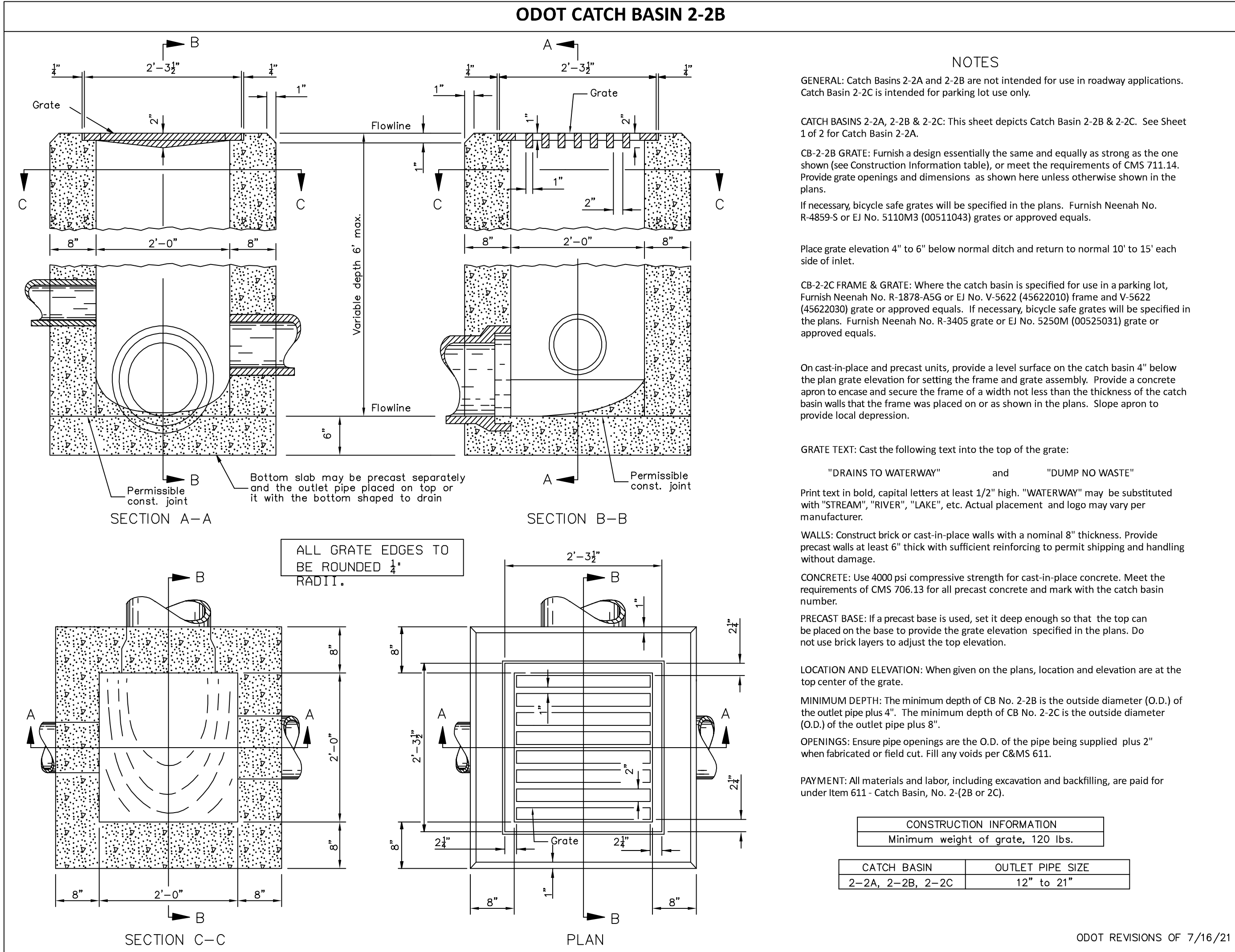
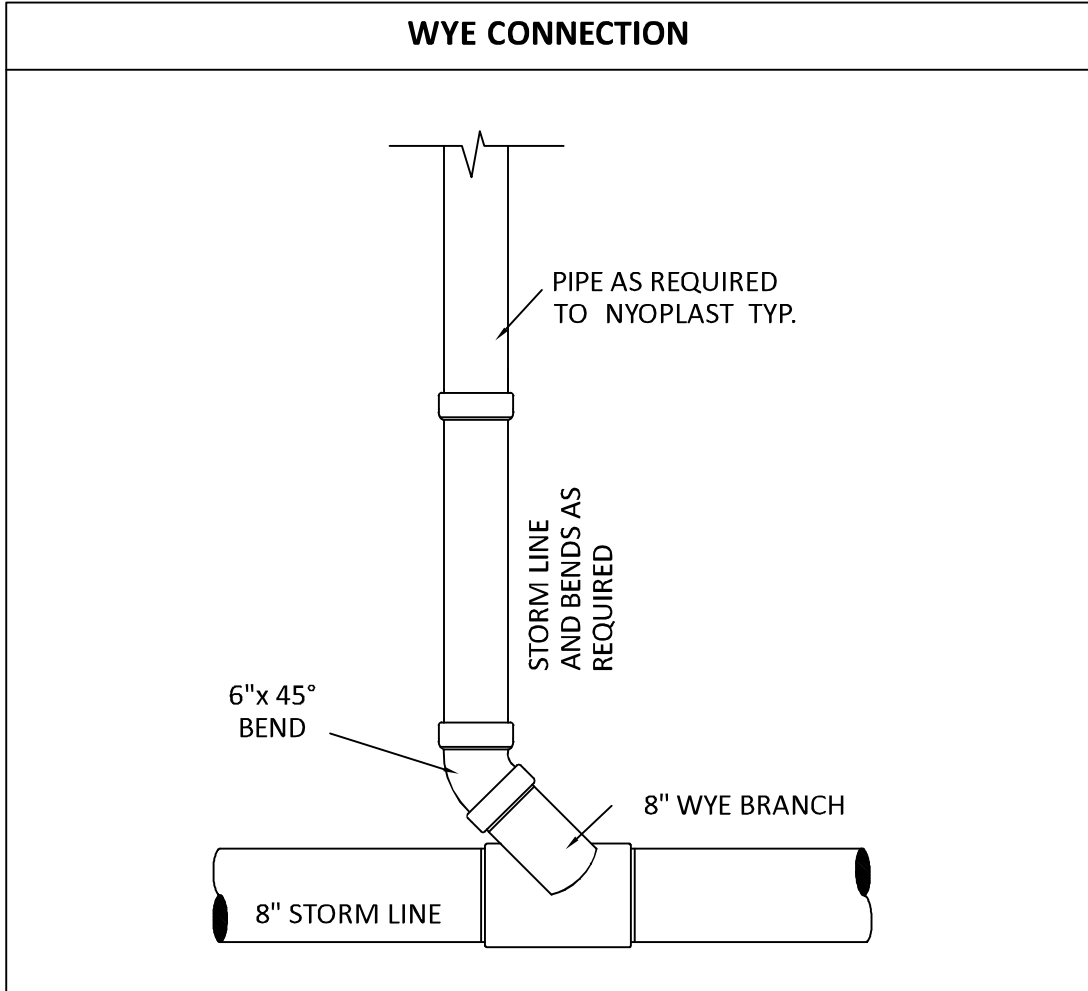
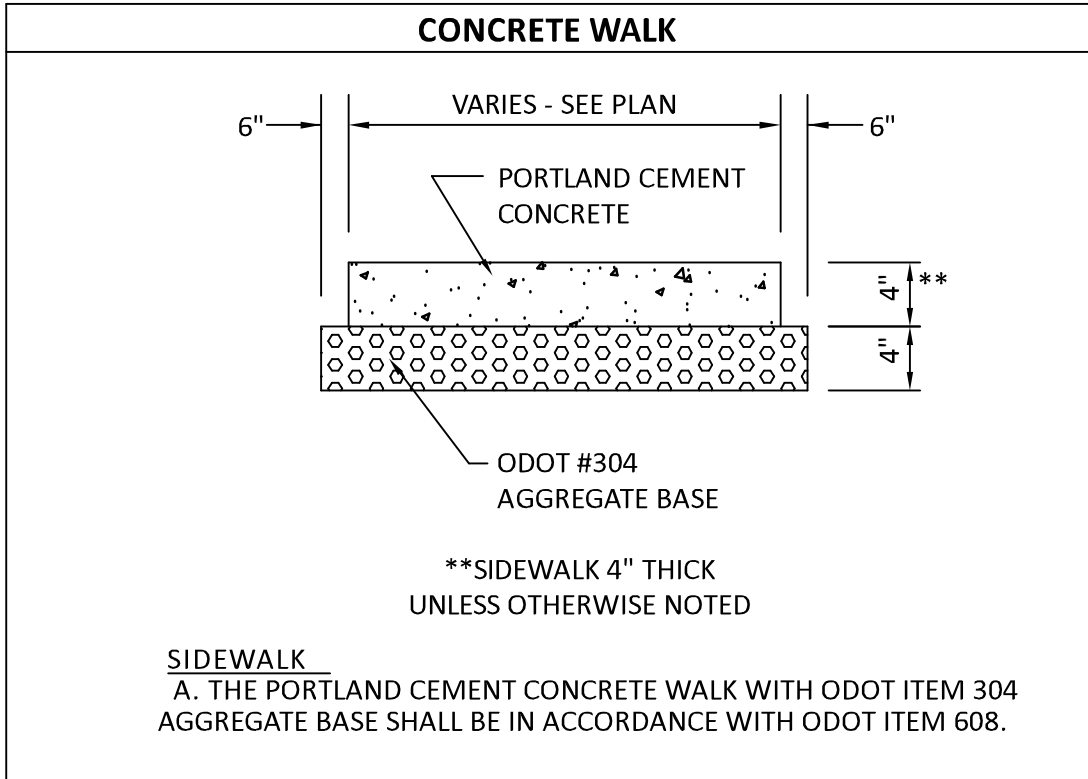
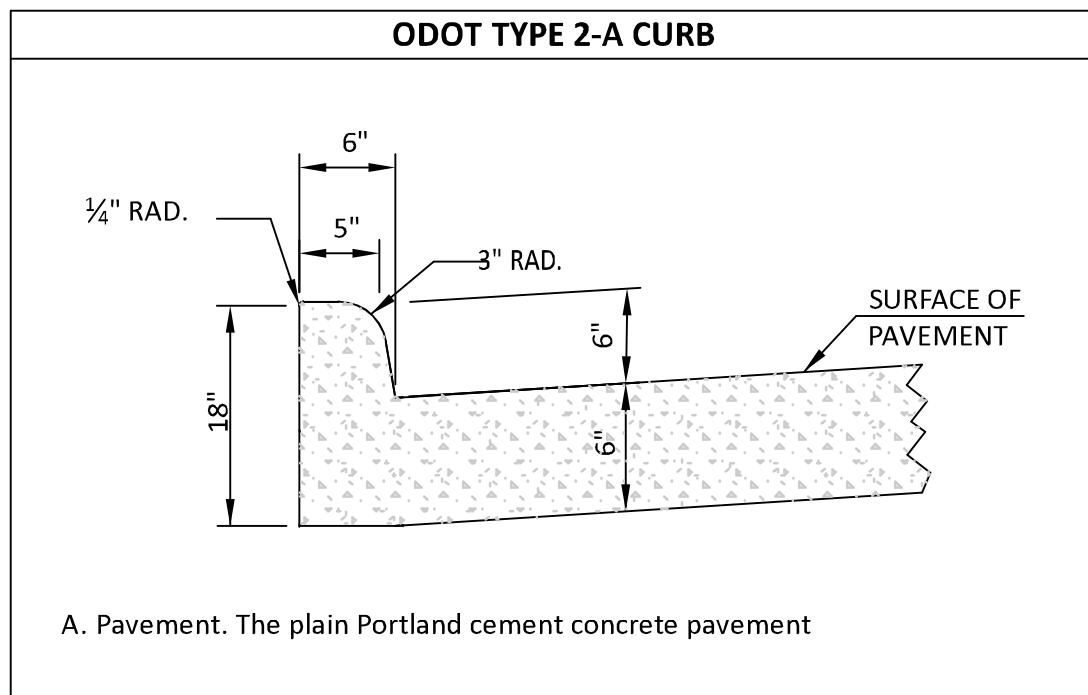
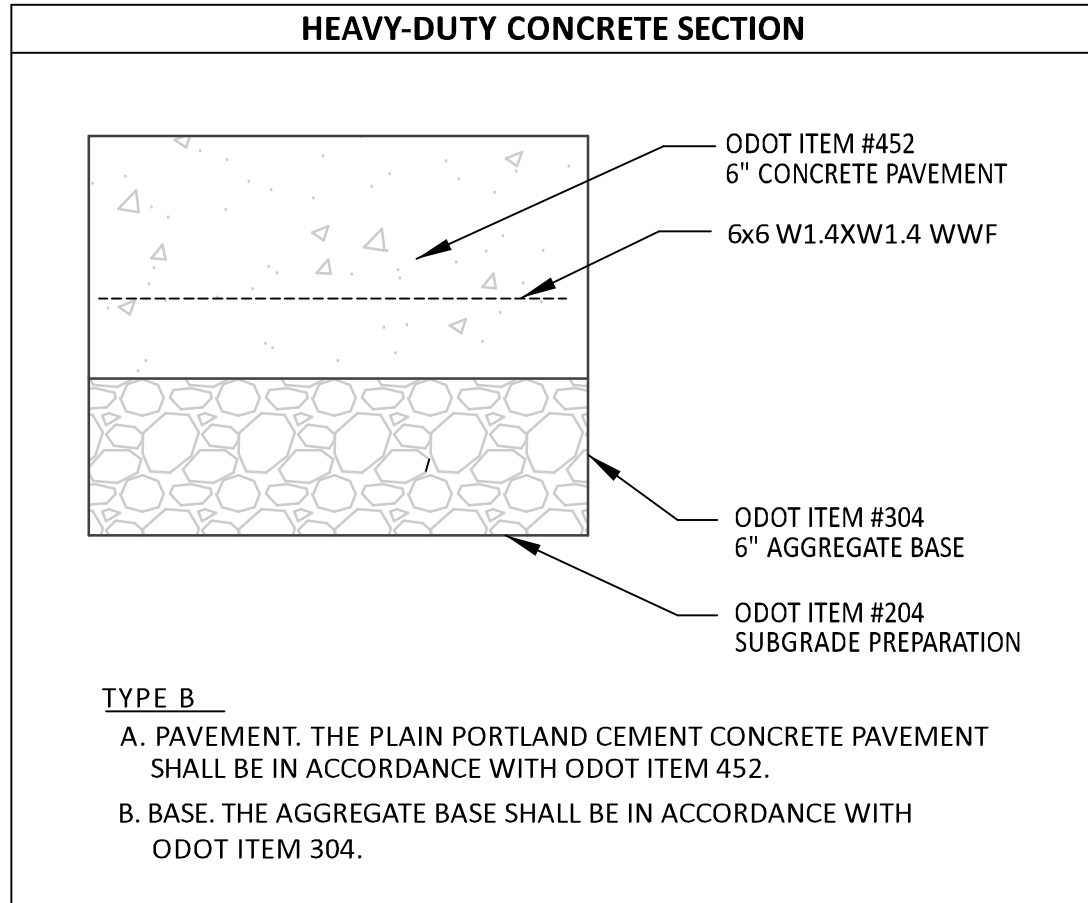
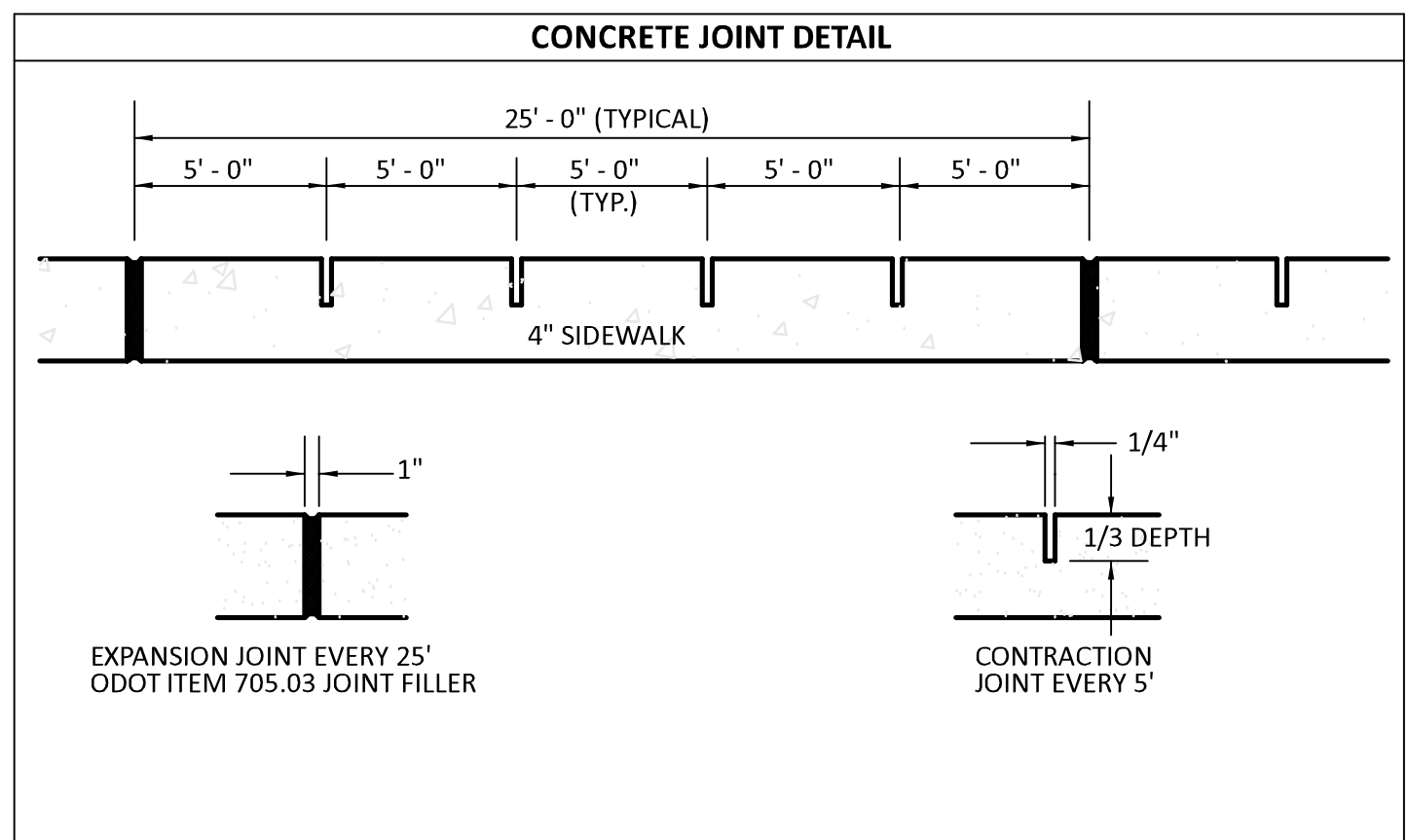
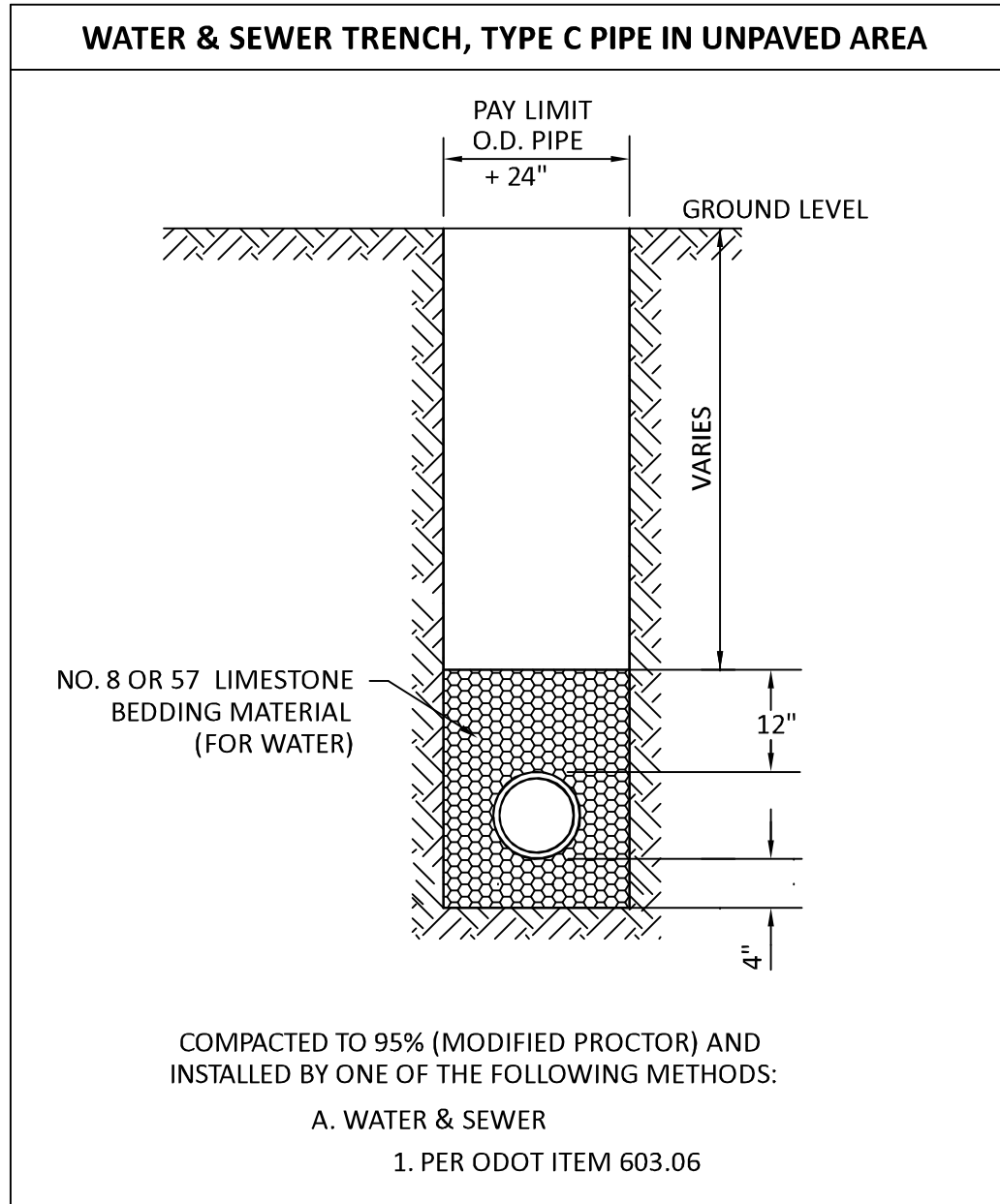
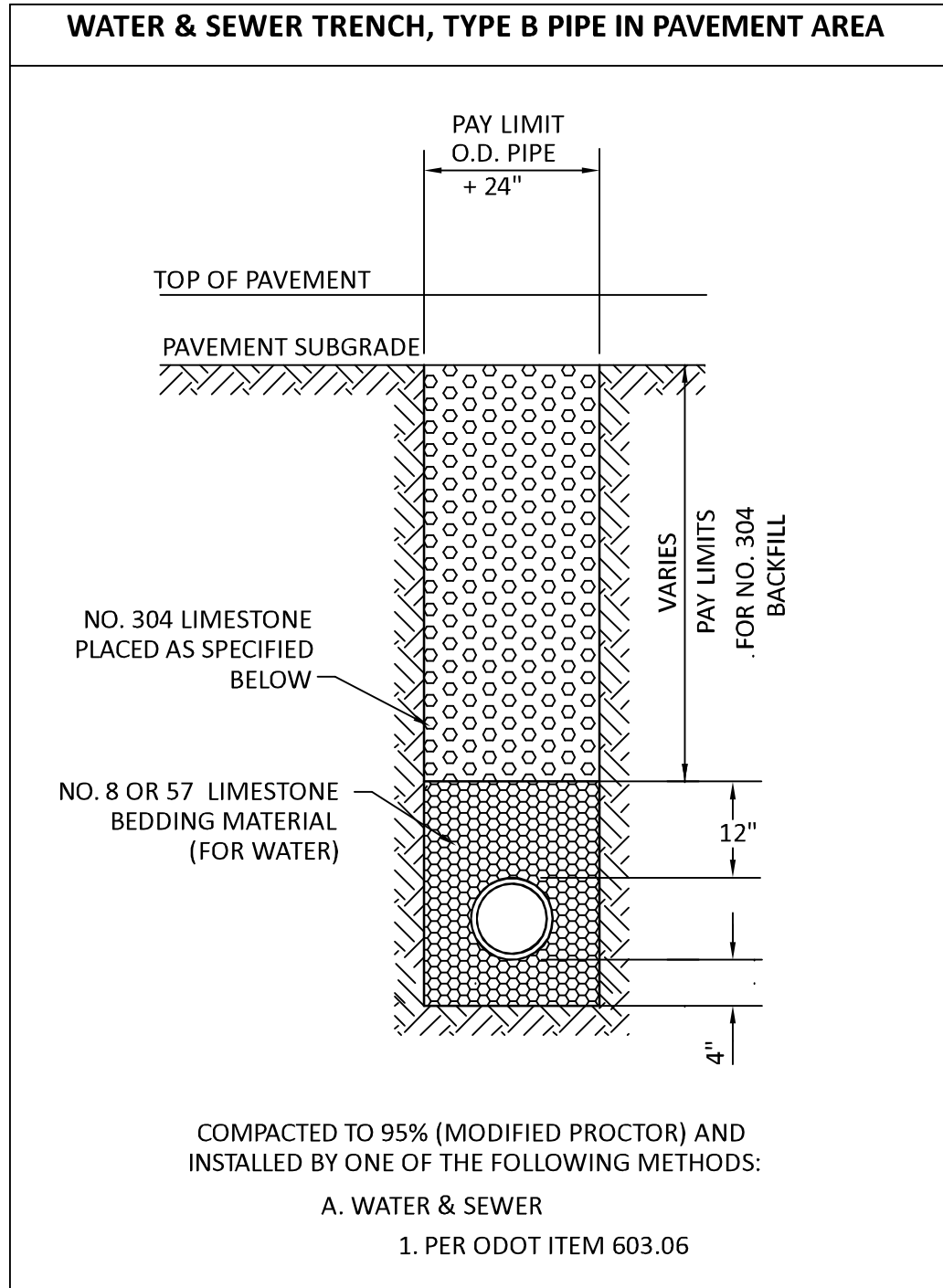
SCALE:	DATE: SEPTEMBER, 2023	CK'D. BY: ABE	PROJECT NO.
N.T.S.	DR. KNR	REV'D	23-263

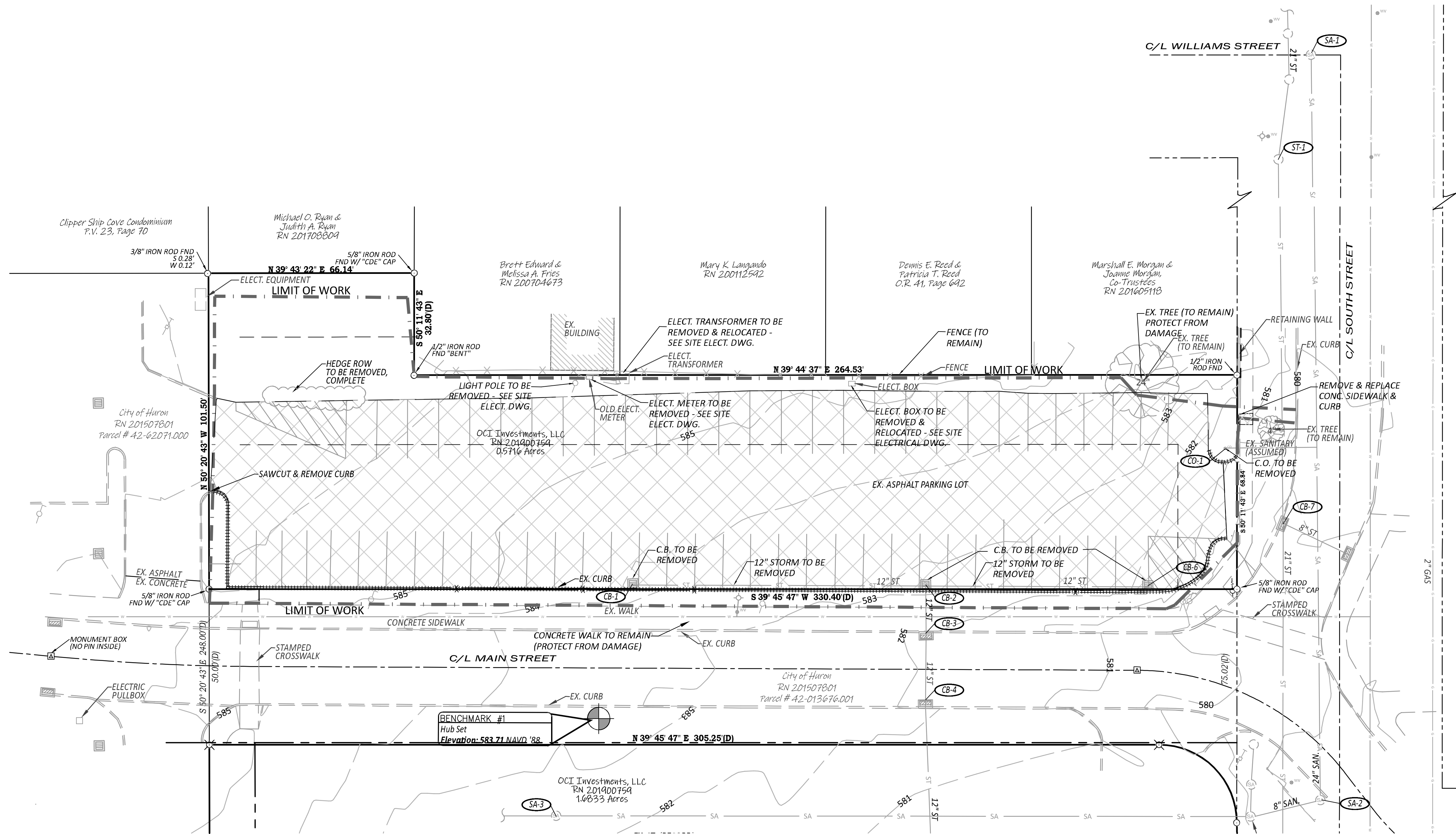
UNDERGROUND UTILITIES

Contact Two Working Days
Before You Dig


Before You Dig

OHIO811, 8-1-1, or 1-800-362-2764
(Non-members must be called directly)





LEGEND	
SET	FOUND DESCRIPTION
●	○ IRON PIN (ROD)
●	○ IRON PIPE
⬇	⊗ MAG SPIKE
⊠	⊠ MONUMENT BOX
×	⊗ DRILL HOLE
(D)	DEED (M) MEASURED
(P)	PLATTED (C) CALCULATED
(S)	SURVEY
ALL 5/8" IRON PINS SET ARE 30" LONG REBAR WITH YELLOW PLASTIC CAPS STAMPED "C.D. ENG 8456 & 8512"	

LEGEND	
ST	STORM
SA	SANITARY
USE	UNDERGROUND ELECTRIC
OE	OVERHEAD ELECTRIC
W	WATER LINE
G	GAS LINE
---	CENTERLINE
---	RIGHT-OF-WAY LINE
---	FENCE
⊠	FIRE HYDRANT
⊠	WATER VALVE
---	UTILITY POLE
---	TELEPHONE PEDESTAL
---	CATCH BASIN
---	CURB BASIN
---	SANITARY MANHOLE
---	ELECTRIC PEDESTAL
---	SIGN
---	BOLLARD
---	CLEANOUT
---	GAS VALVE
---	GAS METER

EXISTING SANITARY SEWER TABLE						
STRUCTURE	TYPE	CASTING	DIRECTION	PIPE SIZE	PIPE ELEVATION	PIPE TYPE
SA-1	MANHOLE	582.14	SW	12"	577.06	----
			NW	15"	576.89	
			SE	24"	576.74	
SA-2	MANHOLE	578.96	NW	24"	573.61	----
			S	8"	572.20	
SA-3	MANHOLE	579.48	NW	8"	570.81	----
			SE	8"	571.03	
			NE	12"	570.90	
			SW	8"	573.02	
			N	8"	572.13	
CO-1	CLEANOUT	578.46		6"	576.26±	----

EXISTING STORM SEWER TABLE						
STRUCTURE	TYPE	CASTING	DIRECTION	PIPE SIZE	PIPE ELEVATION	PIPE TYPE
CB-1	CATCH BASIN	583.73	NE	12"	580.26	PVC
CB-2	CATCH BASIN	582.60	SW	12"	579.26	PVC
			NE	12"	579.23	PVC
			SE	12"	579.23	PVC
CB-3	CATCH BASIN	581.51	NW	12"	579.14	PVC
			SE	12"	579.04	PVC
CB-4	CATCH BASIN	581.54	NW	12"	578.34	PVC
			SE	12"	578.14	PVC
CB-6	CATCH BASIN	581.57	SW	12"	579.57	PVC
CB-7	CATCH BASIN	578.67	NW & SE	21"	573.92	RCP
			E	8"	575.82	PVC
ST-1	MANHOLE	582.20	SE	21"	574.47	RCP
			NW	21"	574.47	PVC

LEGEND	
⊠	ODOT ITEM #202 - SAWCUT & REMOVE EX. ASPHALT
+++++	ODOT ITEM #202 - CURB REMOVED

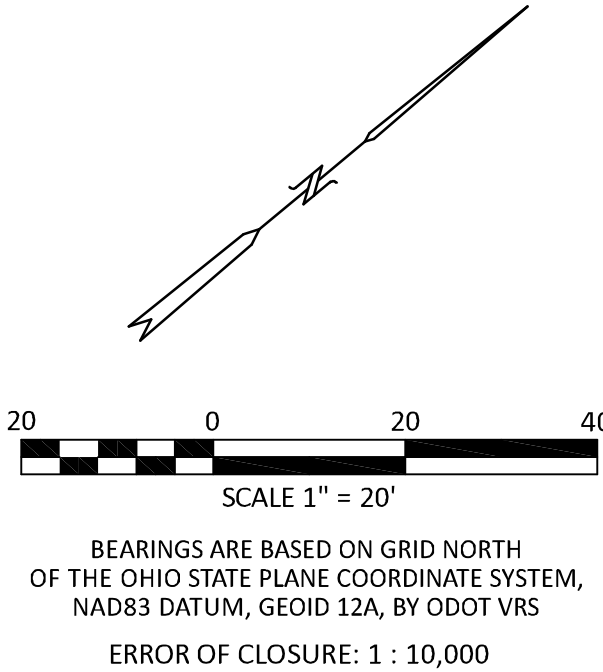
NOTES:

1. UTILITY CONNECTIONS TO REMAIN, WHERE SHOWN.

REFERENCES

Erie County Survey Records
Boundary Survey by Contractors Design
Engineering in December, 2019

Erie County Deed Records
Vol. and Pages as indicated



RUTA TOWNHOMES - OCI INVESTMENTS, LLC
120 MAIN STREET
CITY OF HURON, ERIE COUNTY, OHIO
EXISTING SITE & DEMOLITION PLAN

2
5

CONTRACTORS
DESIGN ENGINEERING
CONSULTING ENGINEERS & SURVEYORS
NORWALK, OHIO

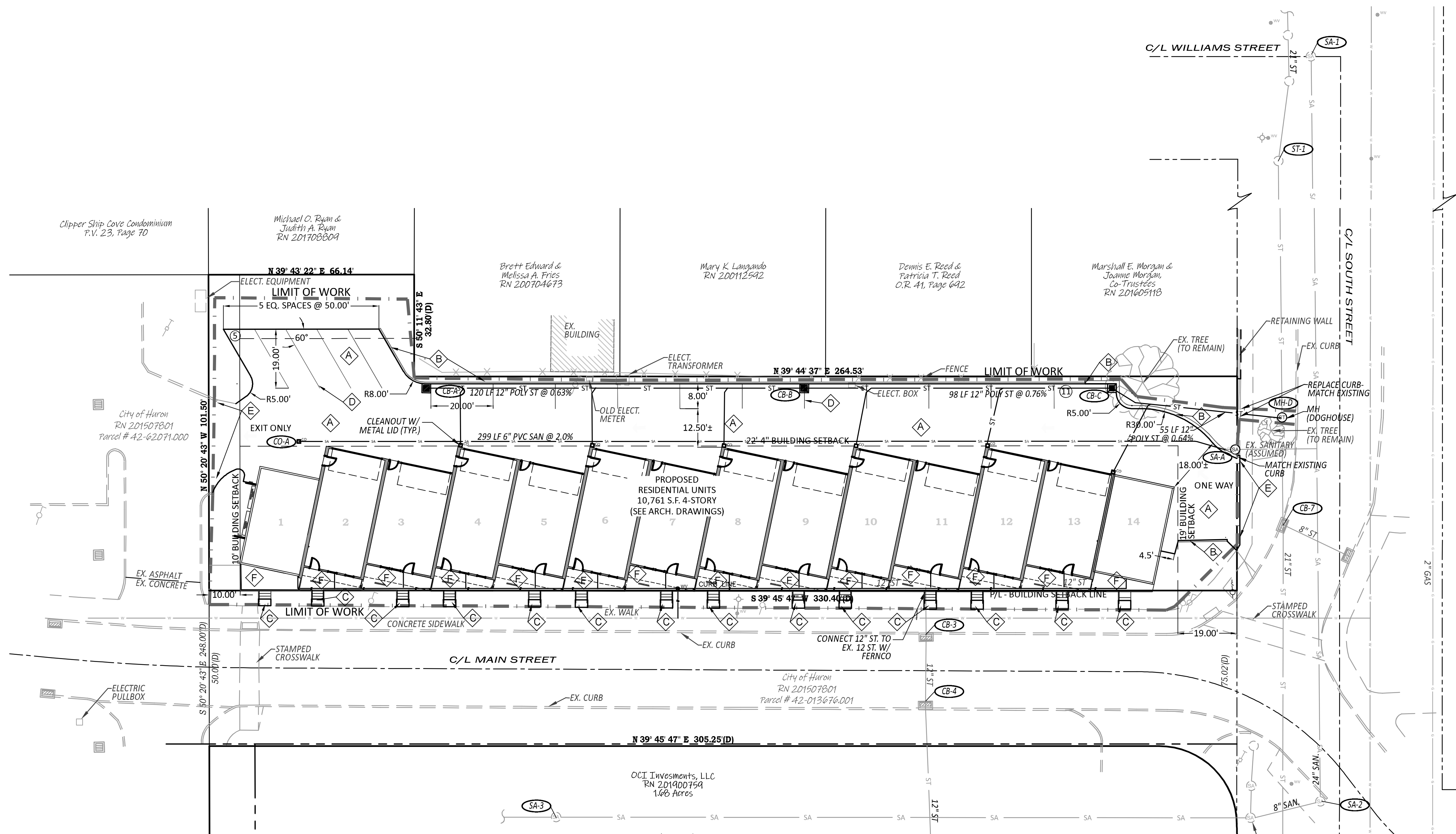
SCALE:
1" = 20'

DATE: SEPTEMBER, 2023
DR. KNR

CK'D. BY: ABE
REV'D

PROJECT NO.
23-263

File Name: Z:\CD\Eng\23-263 Ruta Townhomes-Main St-Huron\23-263 Ruta Townhomes Site Plan-Rev.dwg



PROPOSED SANITARY SEWER TABLE						
STRUCTURE	TYPE	CASTING	DIRECTION	PIPE SIZE	PIPE ELEVATION	PIPE TYPE
SA-A	MANHOLE	581.85	SW	6"	577.02	----
			NE	6"	576.26	
CO-A	CLEANOUT	586.40	NE	6"	583.00	

PROPOSED STORM SEWER TABLE						
STRUCTURE	TYPE	CASTING	DIRECTION	PIPE SIZE	PIPE ELEVATION	PIPE TYPE
CB-A	CATCH BASIN	585.50	NE	12"	583.00	PVC
CB-B	CATCH BASIN	584.75	SW & NE	12"	582.25	PVC
CB-C	CATCH BASIN	583.00	SW & NE	12"	581.50	PVC
MH-D	M.H. (DOGHOUSE)	580.95	SW	12"	577.95	PVC
			NW & SE	EX. 21"	574.13	PVC

EXISTING SANITARY SEWER TABLE						
STRUCTURE	TYPE	CASTING	DIRECTION	PIPE SIZE	PIPE ELEVATION	PIPE TYPE
SA-1	MANHOLE	582.14	SW	12"	577.06	----
			NW	15"	576.89	
			SE	24"	576.74	
SA-2	MANHOLE	578.96	NW	24"	573.61	----
			S	8"	572.20	
SA-3	MANHOLE	579.48	NW	8"	570.81	----
			SE	8"	571.03	
			NE	12"	570.90	
			SW	8"	573.02	
			N	8"	572.13	
CO-1	CLEANOUT	578.46		6"	576.26	----

EXISTING STORM SEWER TABLE						
STRUCTURE	TYPE	CASTING	DIRECTION	PIPE SIZE	PIPE ELEVATION	PIPE TYPE
CB-3	CATCH BASIN	581.51	NW	12"	579.14	PVC
			SE	12"	579.04	PVC
CB-4	CATCH BASIN	581.54	NW	12"	578.34	PVC
			SE	12"	578.14	PVC
CB-7	CATCH BASIN	578.67	NW & SE	21"	573.92	RCP
			E	8"	575.82	PVC
ST-1	MANHOLE	582.20	SE	21"	574.47	RCP
			NW	21"	574.47	PVC

LEGEND

- ODOT 2-2B CATCH BASIN - SEE DETAIL, SHEET 1
- HEAVY-DUTY CONCRETE PAVEMENT - SEE DETAIL, SHEET 2
- ODOT TYPE 2-A CURB - SEE DETAIL, SHEET 2
- CONCRETE PAVEMENT - SEE DETAIL, SHEET 2
- ODOT ITEM #646 PAVEMENT STRIPING
- ODOT #409 SEAL PAVEMENT
- CONCRETE PORCH - SEE ARCH. DRAWINGS

NOTES:

- ALL RADIUS DIMENSIONS ARE FOR THE FLOW LINE WHERE CURB IS PROPOSED.

ZONING NOTES:

ZONING = B-3 & R-3

LOT AREA = 0.57 Acres (24,829 S.F.)

BUILDING COVERAGE = 10,761 S.F. proposed (total of 0.43% of property)

VARIANCES GRANTED - 12/12/2022:

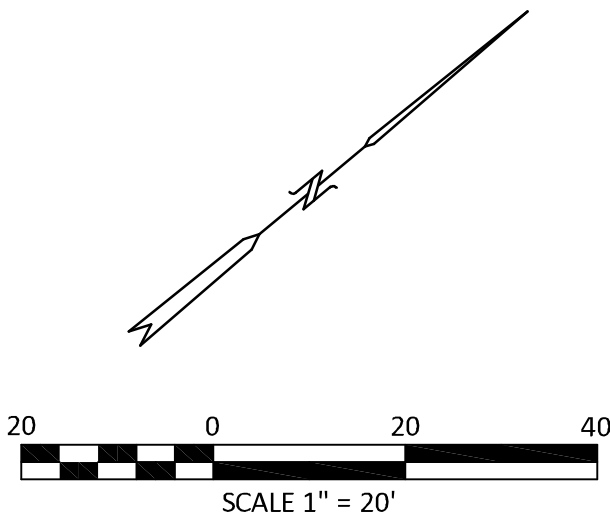
LOT PER FAMILY = 3,500 S.F. (7 Units Max. Based on Lot Area Divided by 3,500 s.f.)

HEIGHT FOR PRINCIPAL BUILDING = 45'

FRONT YARD DEPTH = 25'-0" on Main Street & 6'-0" on South Street

REAR YARD DEPTH = 18'-4" Rear Yard Setback

PARKING SPACES = 2 Per Unit + 16 Visitor Spaces

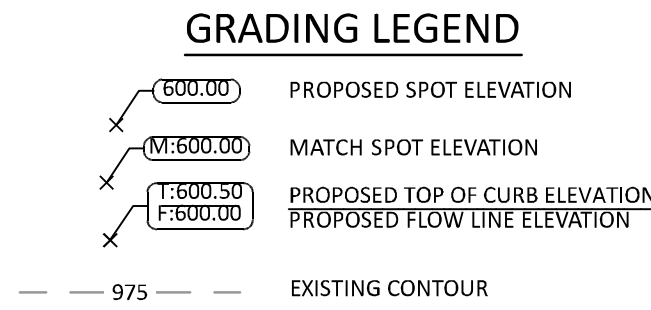
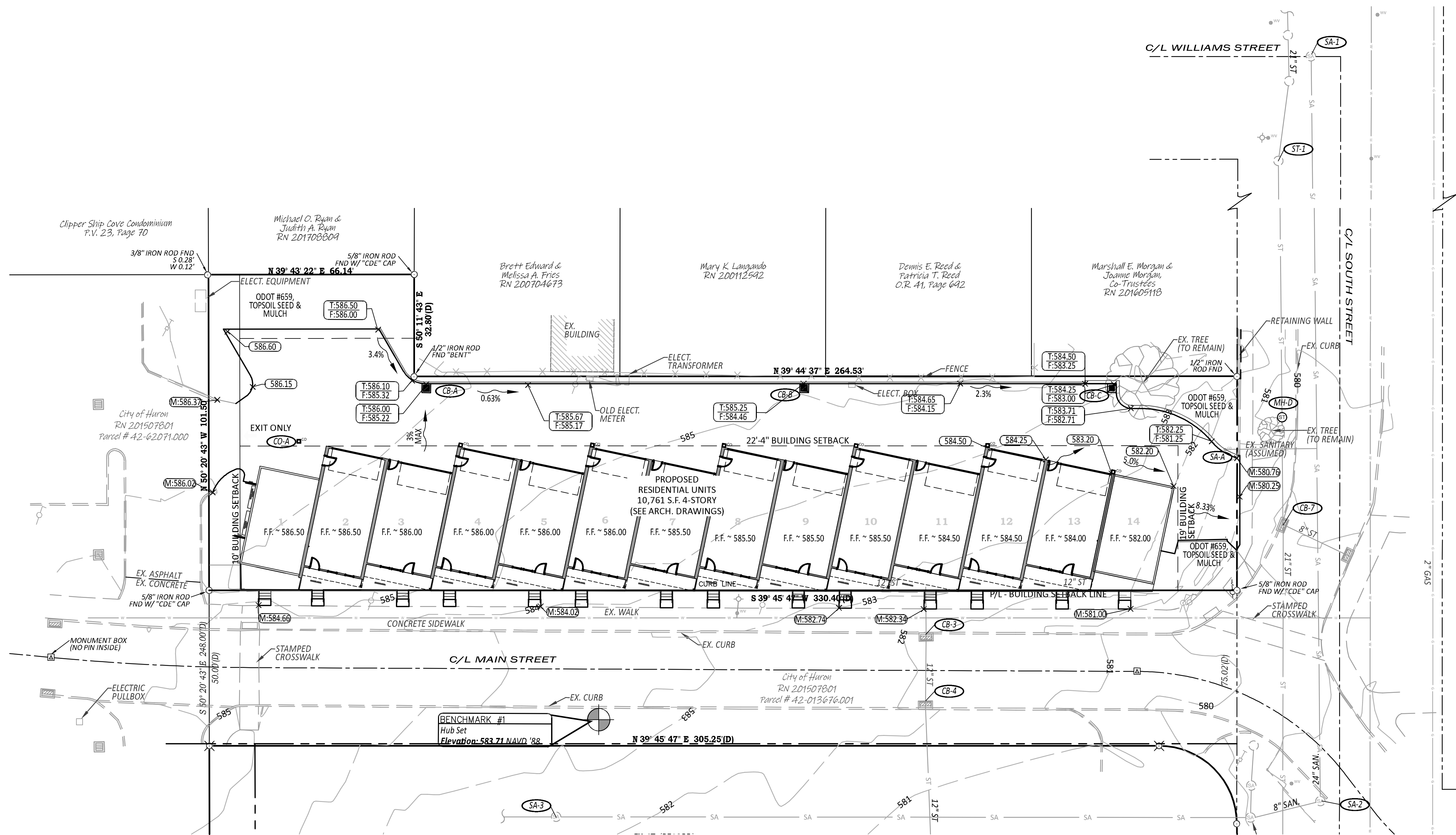


RUTA TOWNHOMES - OCI INVESTMENTS, LLC
120 MAIN STREET
CITY OF HURON, ERIE COUNTY, OHIO
SITE DIMENSION & UTILITY PLAN

CONTRACTORS
DESIGN ENGINEERING
CONSULTING ENGINEERS & SURVEYORS
NORWALK, OHIO

SCALE: 1" = 20'
DATE: SEPTEMBER, 2023
DR. KNR
CK'D. BY: ABE
REV'D
PROJECT NO. 23-263

File Name: Z:\CD\Eng\23-263 Ruta Townhomes-Main St-Huron\23-263 Ruta Townhomes Site Plan-Rev.dwg



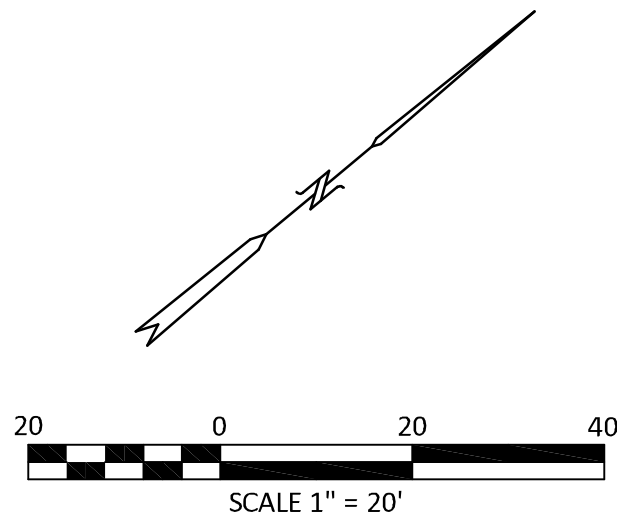
NOTE:
CURB REVEAL HEIGHT VARIES, SEE GRADES FOR MORE DETAILED INFORMATION.

PROPOSED SANITARY SEWER TABLE						
STRUCTURE	TYPE	CASTING	DIRECTION	PIPE SIZE	PIPE ELEVATION	PIPE TYPE
SA-A	MANHOLE	581.85	SW	6"	577.02	----
			NE	6"	576.26	
CO-A	CLEANOUT	586.40	NE	6"	583.00	

PROPOSED STORM SEWER TABLE						
STRUCTURE	TYPE	CASTING	DIRECTION	PIPE SIZE	PIPE ELEVATION	PIPE TYPE
CB-A	CATCH BASIN	585.22	NE	12"	583.00	PVC
CB-B	CATCH BASIN	584.46	SW & NE	12"	582.25	PVC
CB-C	CATCH BASIN	583.00	SW & NE	12"	581.50	PVC
MH-D	M.H. (DOGHOUSE)	580.95	SW	12"	577.95	PVC
			NW & SE	EX. 21"	574.13	PVC

EXISTING SANITARY SEWER TABLE						
STRUCTURE	TYPE	CASTING	DIRECTION	PIPE SIZE	PIPE ELEVATION	PIPE TYPE
SA-1	MANHOLE	582.14	SW	12"	577.06	----
			NW	15"	576.89	
			SE	24"	576.74	
SA-2	MANHOLE	578.96	NW	24"	573.61	----
			S	8"	572.20	
SA-3	MANHOLE	579.48	NW	8"	570.81	----
			SE	8"	571.03	
			NE	12"	570.90	
			SW	8"	573.02	
			N	8"	572.13	
CO-1	CLEANOUT	578.46		6"	576.26	----

EXISTING STORM SEWER TABLE						
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CB-4	CATCH BASIN	581.54	NW	12"	578.34	PVC
			SE	12"	578.14	PVC
CB-7	CATCH BASIN	578.67	NW & SE	21"	573.92	RCP
			E	8"	575.82	PVC
ST-1	MANHOLE	582.20	SE	21"	574.47	RCP
			NW	21"	574.47	PVC

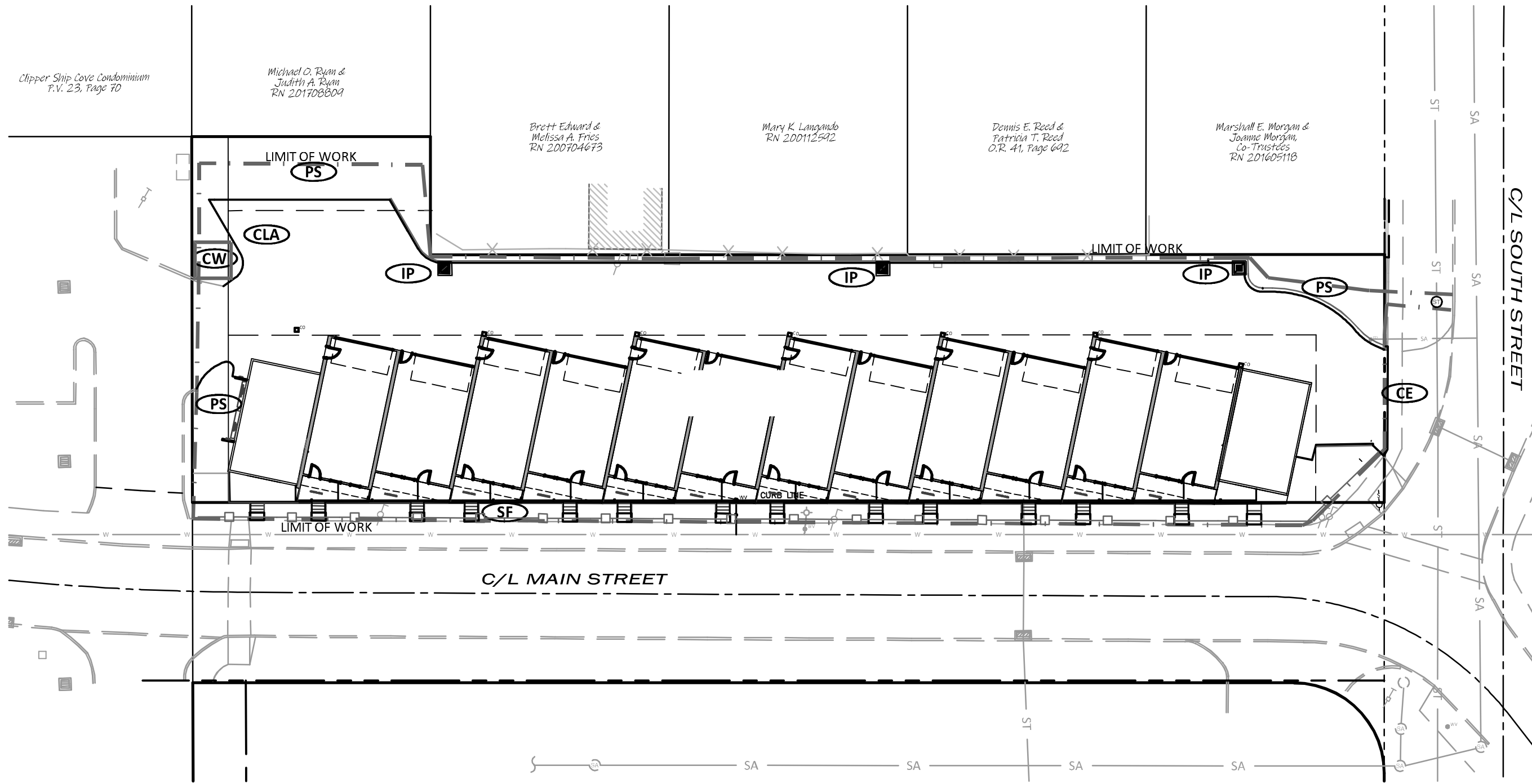
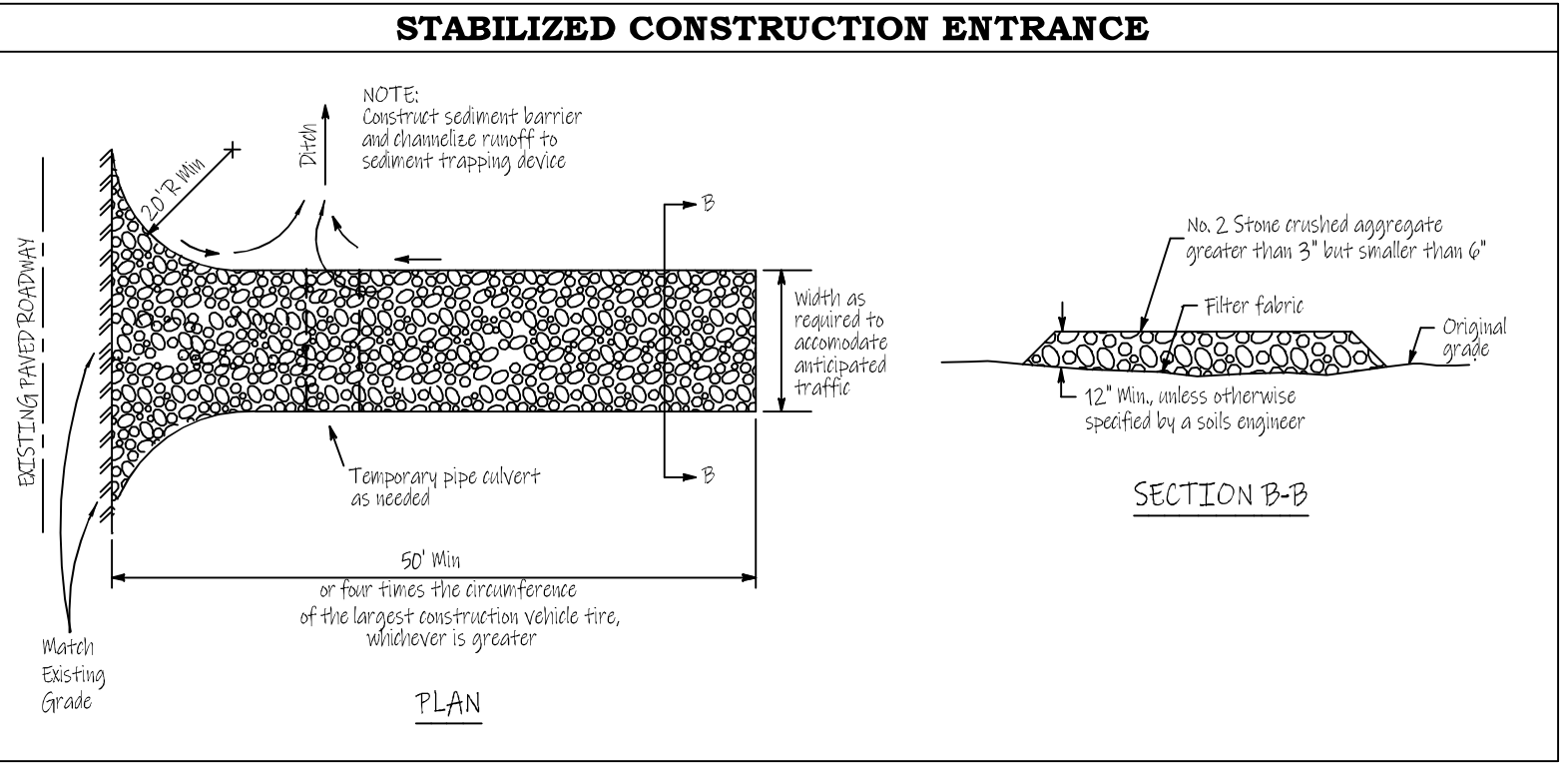
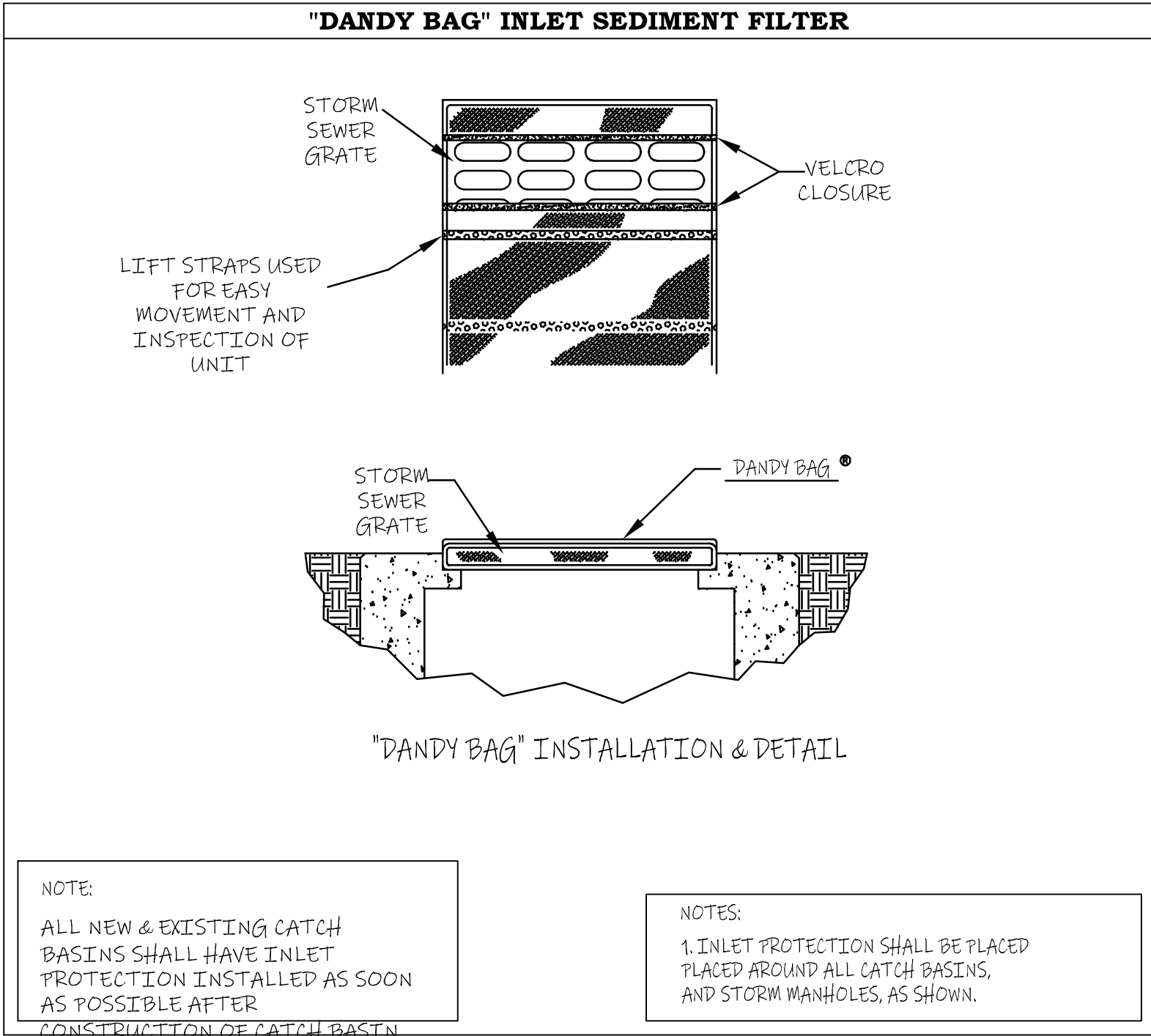


RUTA TOWNHOMES - OCI INVESTMENTS, LLC
120 MAIN STREET
CITY OF HURON, ERIE COUNTY, OHIO
SITE GRADING PLAN

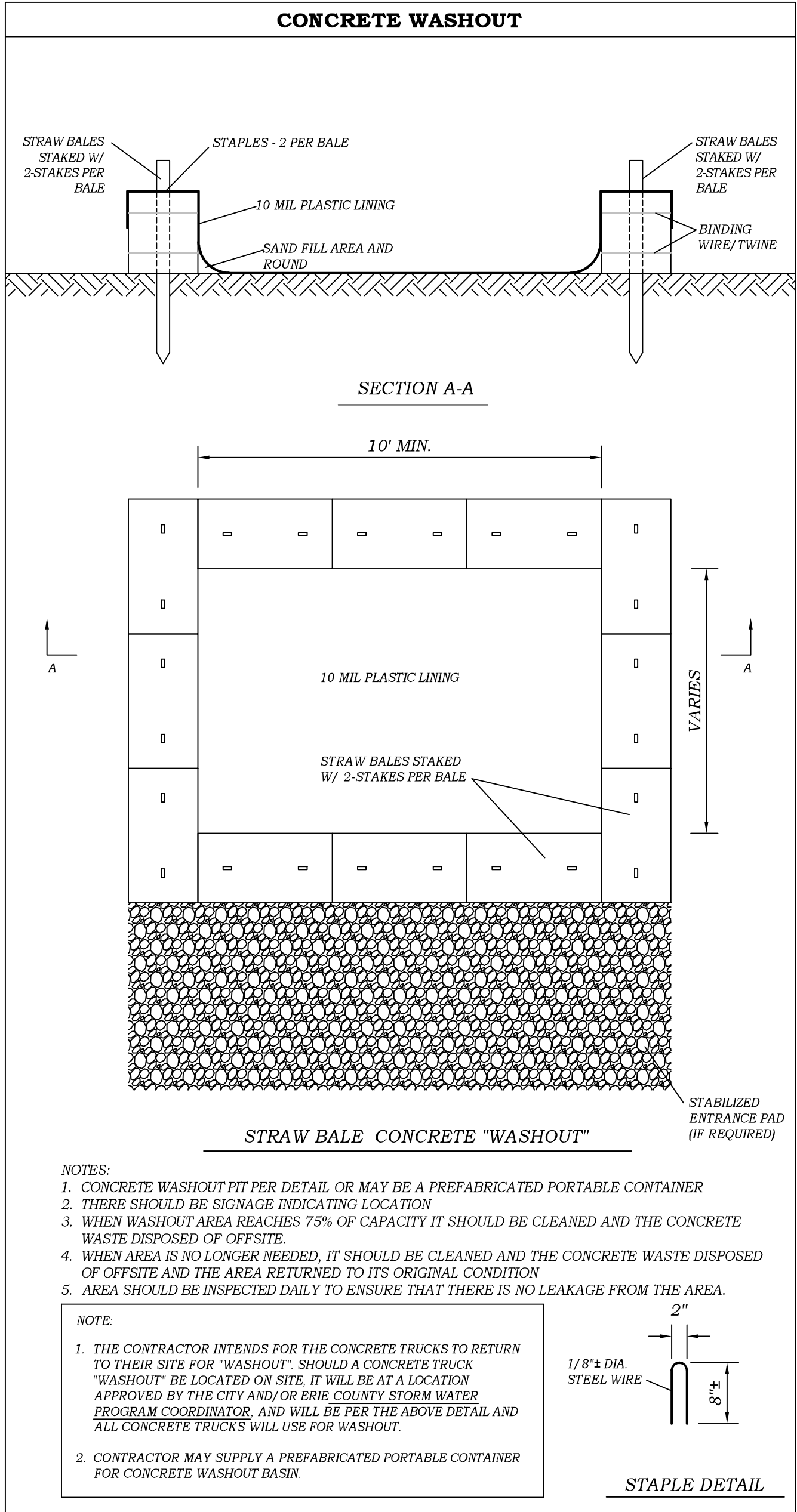
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5

DESIGN ENGINEERING
CONSULTING ENGINEERS & SURVEYORS
NORWALK, OHIO

SCALE: 1" = 20'
DATE: SEPTEMBER, 2023
DR. KNR
CK'D. BY: ABE
REV'D
PROJECT NO. 23-263



- LEGEND:**
- PS** Permanent Seeding ODOT Item #659 Seeding & Mulching to all Disturbed Areas to Remain Green Space
 - IP** Inlet Protection
 - CW** Concrete Washout
 - CLA** Contractor Lay-Down Area
 - SF** Silt Fence
 - SF** Construction Limits
 - CE** Construction Entrance



STORM WATER POLLUTION PREVENTION NOTES

SITE DESCRIPTION	
Sequence of Major Activities	
1. Building foundation. 2. Install erosion control within 7 days of soil disturbing activities. 3. Construct utility connections. 4. Four curbs, sidewalks, and miscellaneous concrete. 5. Pave site with asphalt. 6. Stripe pavement, final seeding and mulching of project.	
Non-Stormwater Discharges	
Pavement wash waters (where no toxic or hazardous material spills have occurred) Uncontaminated groundwater from dewatering operations.	
All non stormwater discharges will be directed toward existing ditches or perimeter protection on the project and will not be directly discharged into receiving waters.	
Inventory for Pollution Prevention Plan	
The following materials are expected to be present on-site during construction: Fertilizers Petroleum products Cleaning solvents Asphalt Concrete Lumber	
Total Maximum Area of Disturbance	
Project Earth Disturbed Area is less than 1.0 acre.	
The surface water for this project primarily drains to a private storm system and very shortly after that to Pipe Creek, just east of the project.	
The land use for pre-construction is a former auto mechanic shop with a parking lot. The proposed use is a coffee shop with a new asphalt parking lot.	
The limited earth-disturbing activities will be confined to the construction limits indicated on the plans.	
General Notes	
All construction activities must comply with all local erosion and sediment control regulations.	
All erosion and sediment control practices must meet the standards and specifications of the Ohio Rainwater and Land Development Handbook (2008) with it's subsequent revisions.	
Other erosion control items may be necessary due to environmental conditions.	
Regular inspection and maintenance will be provided for all erosion and sediment control practices. Permanent records of maintenance and inspections must be kept for 3 years after construction is completed.	
Inspections must be performed at least every 7 days and immediately after storm events greater than 0.5 inches of rain in a 24 hour period. Provide the name of inspector, major observations, date of inspection and any corrective measures required and taken.	
Sediment basins and perimeter controls shall be implemented prior to the beginning of pipe installation operations and shall be maintained until upland areas have been stabilized.	
Contractor shall use erosion control measures as necessary to prevent sediment movement into any ditch and/or swale areas and any areas which might be identified as a wetlands.	

No solid or liquid waste shall be discharged into storm water runoff.
Waste disposal area to be seeded with grasses & legumes as soon as possible after completion of grading & disposal operations (within 7 days).
Construction activities shall be limited to only areas where actual construction is to take place, seeded area to be disturbed as little as possible.
Immediately after pavement is completed and finish grading has been completed all disturbed areas shall be seeded and mulched in accordance with bid items (within 7 days).
Any swales shall be seeded & mulched per ODOT bid item 670 immediately after completion, stone check dams shall be used as needed along swales to prevent erosion (space as recommended by site engineer).
Storm drain inlet protection should be used on all inlets, this shall be manufactured inlet filters such as blockson filters or dandy bags.
Use of temporary dike barrier may be used during construction to prevent runoff & to trap sediment. Temporary dikes should remain in place & maintained until completion and seeding of disturbed areas.
Stone check dams and/or filter fabric barriers shall be used as recommended by the site engineer or the appropriate representative to prevent localized erosion and sediment control.
CONTROLS
Erosion and Sediment Controls
Stabilization Practices
Temporary Stabilization
Disturbed portions of the site within 50 feet of a stream where construction ceases for 14 days or more will be stabilized with temporary seeding and mulching no later than 2 days from the last construction activity in that area.
Topsoil stockpiles and disturbed portions of the site where construction ceases for 14 days or more will be stabilized with temporary seeding and mulching no later than 7 days from the last construction activity in that area.
Permanent Stabilization
Disturbed portions of the site within 50 feet of a stream where construction has been completed will be stabilized with permanent seeding no longer than 2 days after construction has been completed.
Other disturbed portions of the site where construction has been completed will be stabilized with permanent seeding no longer than 7 days after construction has been completed.
Storm Water Management
Storm water drainage will be provided by the drainage provisions given in the plans for the site.

OTHER CONTROLS
Handling of Toxic or Hazardous Materials
All toxic or hazardous materials will be disposed of as specified by Local, State, and Federal Regulations. The project superintendent is responsible for implementation and adherence to proper waste disposal practices. Toxic or hazardous materials shall not be disposed of in storm waters of the state. Sites with chemicals needing a Spill Prevention Control and Countermeasure (SPCC) plan must follow the plans procedures for spills and leaks if when they occur.
Pumping & Dewatering
Sediment-laden water from pumping and/or dewatering shall not be discharged directly into a stream and/or waterway. Flow shall be routed through a settling pond, a dewatering sump or through a flat well vegetated area adequate for removing sediment before the pumped water reaches a stream and/or waterway.
Waste Disposal
All non-demolition waste materials will be collected and disposed in a covered, leak-proof secure dumpster from a licensed solid waste management company. All trash and construction debris from the site will be deposited into the dumpster. The dumpster will be emptied as required and trash hauled to an approved off-site disposal facility. All project personnel will be instructed as to the proper storage and disposal of waste materials. The project superintendent is responsible for implementation and adherence to proper disposal practices. Waste will comply with applicable state or local waste disposal requirements. Open burning is not permitted with this project.
Clean Hard Fill
If disposal of bricks, hardened concrete, and/or soil is planned, these materials are required to be free from contamination they may leach into waters of the state. Contractor to follow all local laws if disposing of these materials.
Contaminated Soils
If soils are contaminated by petroleum or other chemical spills, the Contractor must notify the local municipality and Ohio EPA. Contaminated soils must be treated and/or disposed in an Ohio EPA approved solid waste management facility or hazardous waste treatment, storage or disposal facility.
If the facility contains contaminated soil, the Contractor must use one of the following methods to prevent contamination from being released: (1) Berms, trenches, and pits used to collect contaminated runoff and prevent discharges (2) Runoff is planned to be pumped into a sanitary sewer (requires prior approval of the sanitary sewer operator) or into a container for transport to an appropriate treatment/disposal facility (3) Areas of contamination are planned for covering with tarps or other methods that prevent storm water from coming into contact with the material.
Spill Reporting Requirements
In the event of a small release of less than 25 gallons, Contractor must follow the guidelines listed previously in Contaminated Soils section.
In the event of a release of 25 gallons or more, Ohio EPA (1-800-282-9378), the local fire department, and the local emergency planning committee (LEPC) must be contacted within 30 minutes.

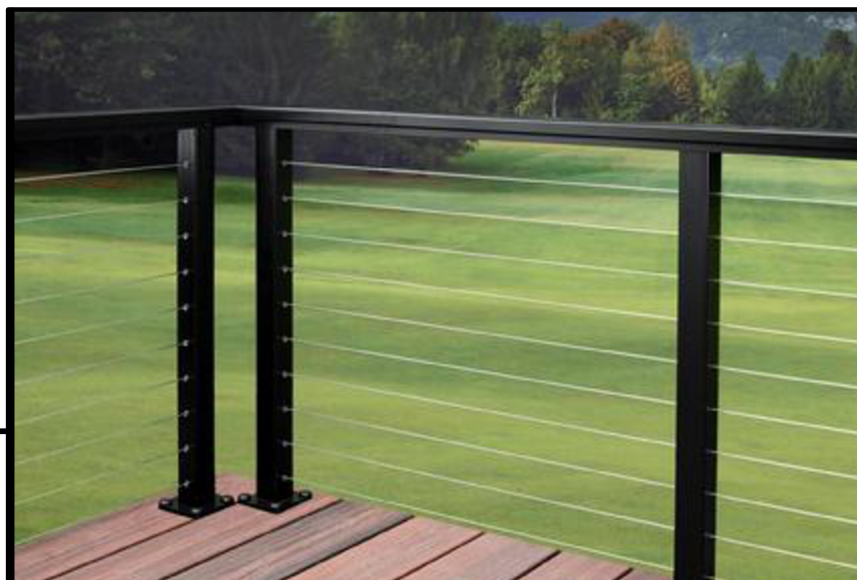
Dust Control
Dust Control will be by watering with a water truck on a regular schedule, to reduce and/or eliminate airborne dust created by construction and construction related activities.
Sanitary Waste
Sanitary waste will be collected from portable units as necessary by a licensed sanitary waste management company, as required by Local regulations.
Off-Site Vehicle Tracking
Stabilized construction entrance is required to reduce the off-site tracking of sediments. All paved streets adjacent to the site will be cleaned as required to remove excess mud, dirt or rock tracked from the site.
Equipment Fueling and Maintenance
Re-fueling and maintenance locations will move within the project area as the work progresses. No refueling of equipment or maintenance of equipment shall occur within 100' of any stream, creek, or pond. No permanent storage tanks for fueling, equipment oils and/or hydraulic fluids will be onsite. Emergency "Spill" kits are located in several locations on site.
TIMING OF CONTROLS/MEASURES
As per the Sequence of Major Activities, all temporary erosion control measures (with the exception of temporary seeding and mulching) will be implemented immediately after site clearing and prior to the commencement of any Earth Disturbing Activities. Areas that will be abandoned for more than 14 days will be temporarily seeded within 7 days of last work in that area. Areas where construction has been completed will be permanently seeded within 14 days of the last construction activity in that area.
MAINTENANCE AND INSPECTION PROCEDURES
Erosion and Sediment Control Inspection and Maintenance Practices
All control measures will be inspected at least once each week and following any storm event of 0.5 inches or greater.
All measures will be maintained in good working order. If a BMP must be repaired, maintained or a new functional BMP installed, it will be within 3 days of inspection for non-sediment pond BMPs, and within 10 days of inspection for sediment ponds to be repaired or cleaned out and replacing a BMP not meeting the intended function or missing from site.
Built up sediment will be removed from silt fence when it has reached one-third the height of the fence.
Silt fence will be inspected for depth of sediment, tears, and to insure the fabric is securely fastened to the posts, and the posts are securely embedded into the ground.
Sediment traps will be inspected for depth of sediment, and built up sediment will be removed when it reaches 40% of the design capacity or at the end of the project construction.
Diversions dikes will be inspected for any breaches and will be promptly repaired.
Temporary and permanent seeding and planting will be inspected for bare spots, washouts, and healthy growth.
A maintenance inspection report will be made after each inspection.
The contractor will be responsible for all maintenance and repair work.
The contractor will assign an individual to be responsible for completing the inspection and maintenance report. Report must be emailed to Valerie Saskak at vsaskak@eriecounty.oh.gov.



CONCEPTUAL TYP. END ELEVATIONS
SCALE: 3/32" = 1'-0"

CONCEPTUAL MAIN STREET ELEVATION
SCALE: 3/32" = 1'-0"

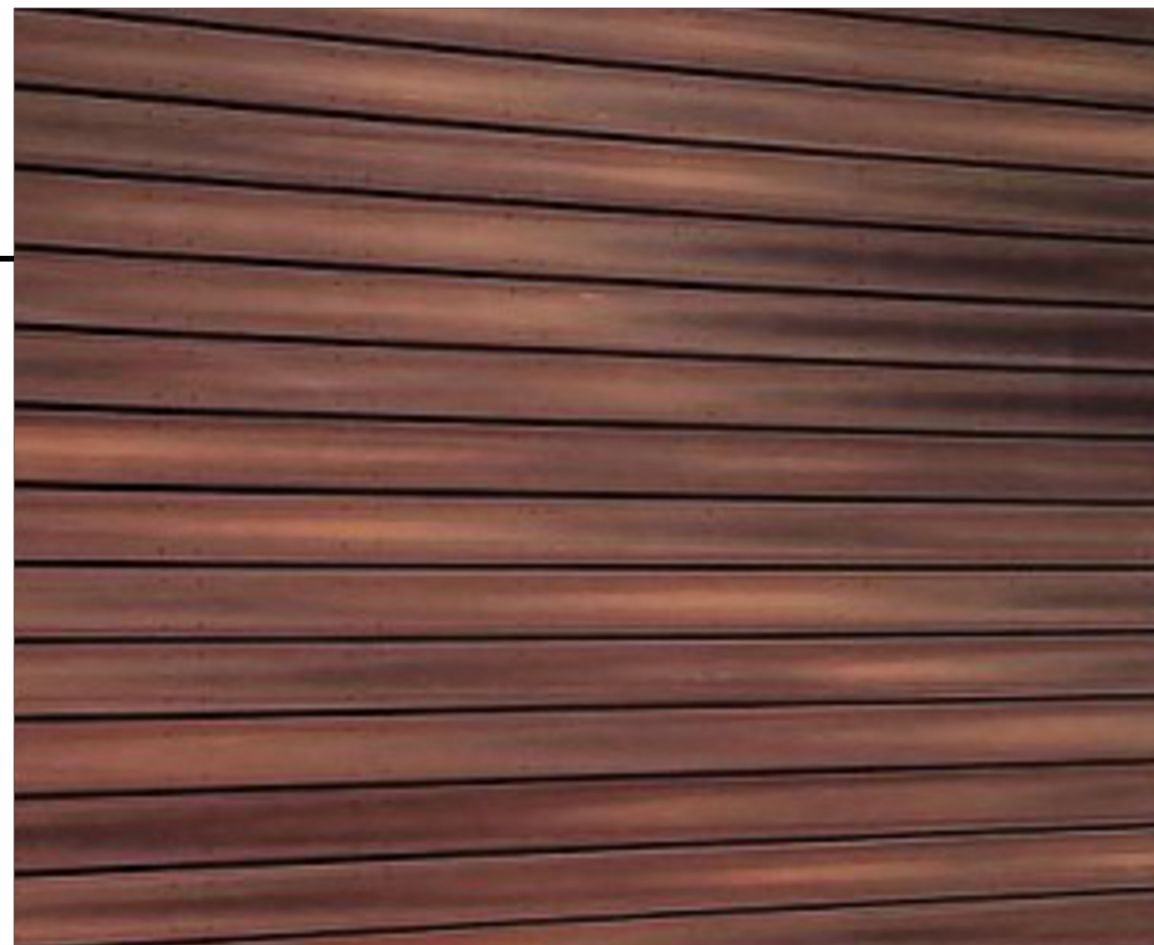
REFERENCE ONLY
ACTUAL SAMPLES WILL BE PROCESSED AND COORDINATED WITH
CONTRACTOR. IF REQUESTED AT THAT TIME PHYSICAL SAMPLES CAN BE
PROVIDED AS REQUESTED. FOR PURPOSES OF THIS DRB IMAGES SHOWN ARE
APPROXIMATE DUE TO GRAPHICS AND VIEWING DEVICES.



REF. RAILING



REF. METAL BOARD BATTEN SIDING



REF. FAUX HOIRZ. WOOD SIDING



REF. WINDOW



REF. STONE

REVISIONS	

THE DRAWINGS AND THE INFORMATION SHOWN
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WITHOUT WRITTEN CONSENT OF THE ARCHITECT. 2023.



ARCHITECTURAL DESIGN
M: 419.677.6961 E: JOSH@FOXARCHITECTURAL.COM
3105 HURON AVERY RD. HURON OHIO 44839

PROPOSED ELEVATIONS AND EXTERIOR MATERIALS

NEW DEVELOPMENT
PROPOSED RESIDENTIAL UNITS
120 MAIN STREET
HURON, OH 44839

SEPT. 20, 2023

JOB NO. 2225

CI.0

(CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS)
NOTE: DRAWINGS ARE NOT TO SCALE IF SHEET IS PLOTTED ON 11" x 17"



CONCEPTUAL RENDERING VIEW
SCALE: N.T.S.

REVISIONS	

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WITHOUT WRITTEN CONSENT OF THE ARCHITECT, 2023.

**FOX**

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3105 HURON AVERY RD. HURON OHIO 44839

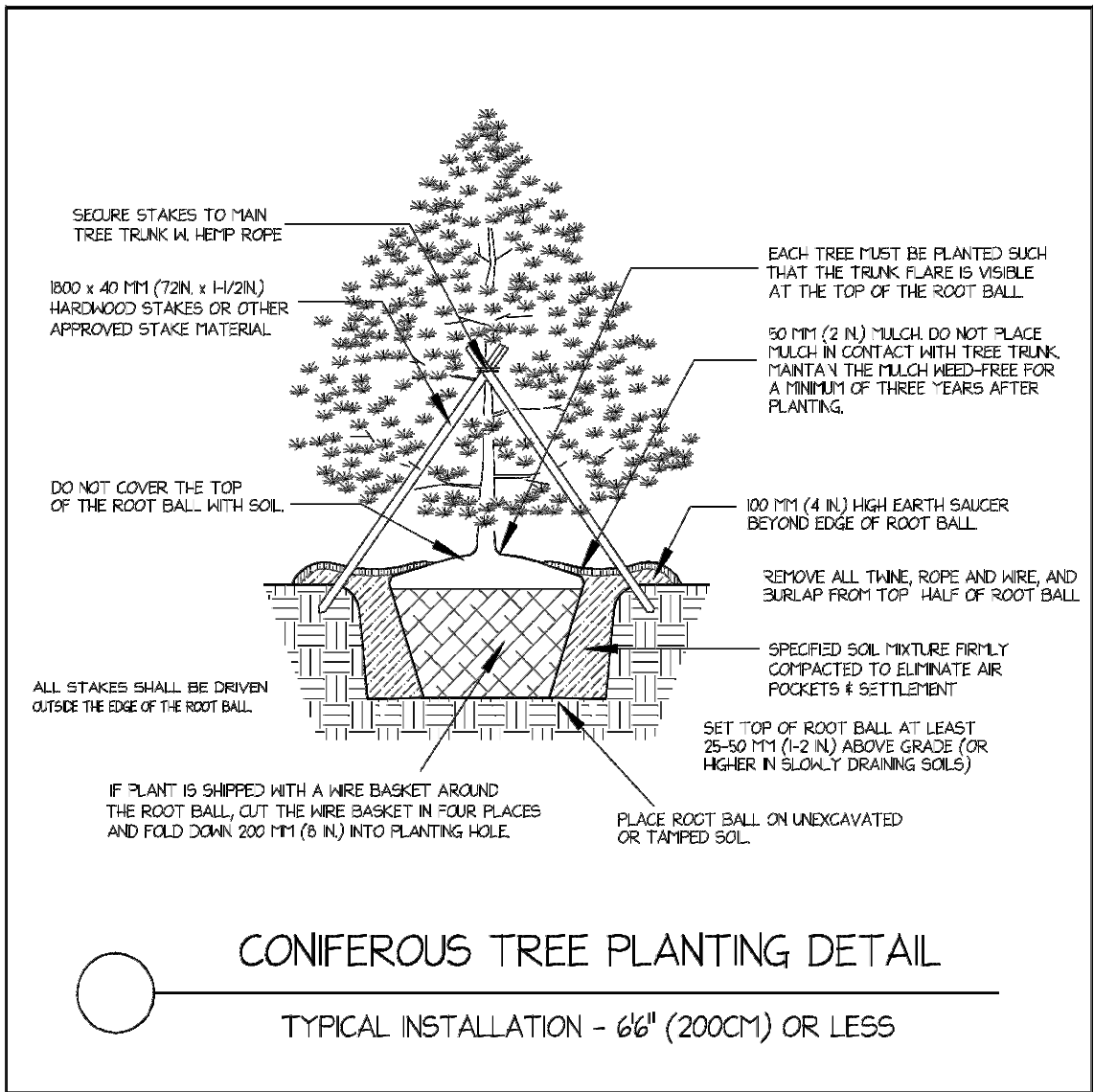
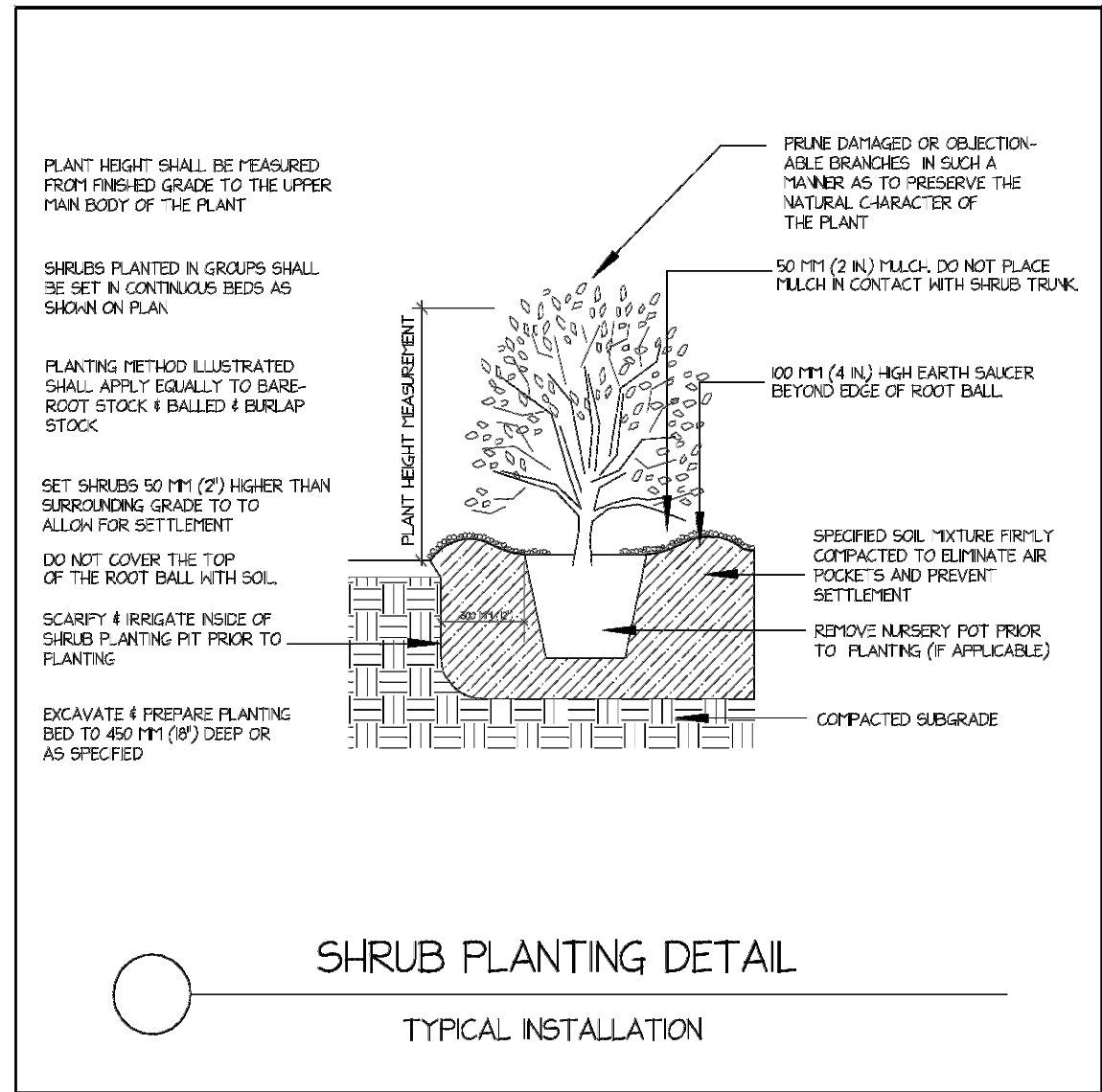
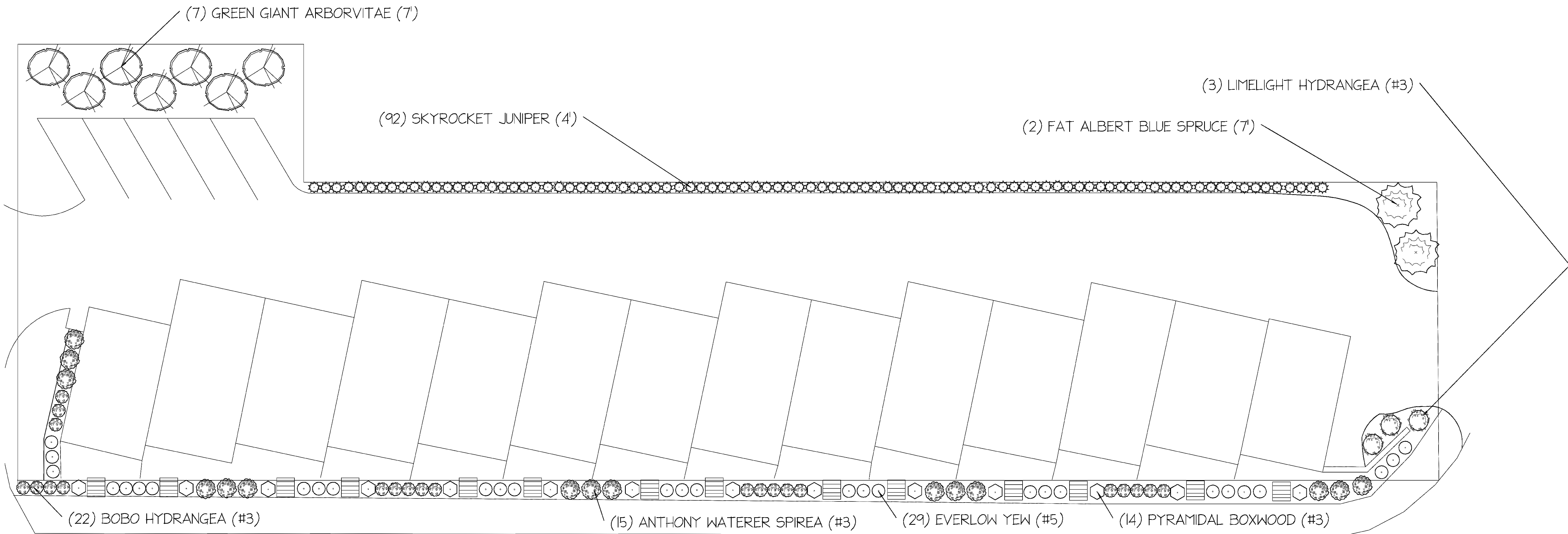
CONCEPTUAL RENDERING VIEW FROM MAIN ST.
NEW DEVELOPMENT
PROPOSED RESIDENTIAL UNITS
120 MAIN STREET
HURON, OH 44839

SEPT. 20, 2023

JOB NO. 2225

C2.0

(CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS)
NOTE: DRAWINGS ARE NOT TO SCALE IF SHEET IS PLOTTED ON 11" x 17"



OCI CONDOS
MAIN STREET
HURON

client:	date		revision
scale	3/32"=1'	09/19/2023	
drawn by	checked by	drawing #	
R. DRAEGER	T. MERCER		

REVISIONS	
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3105 HURON AVERY RD. HURON OHIO 44839

PROPOSED LANDSCAPE PLAN

NEW DEVELOPMENT
PROPOSED RESIDENTIAL UNITS
120 MAIN STREET
HURON, OH 44839

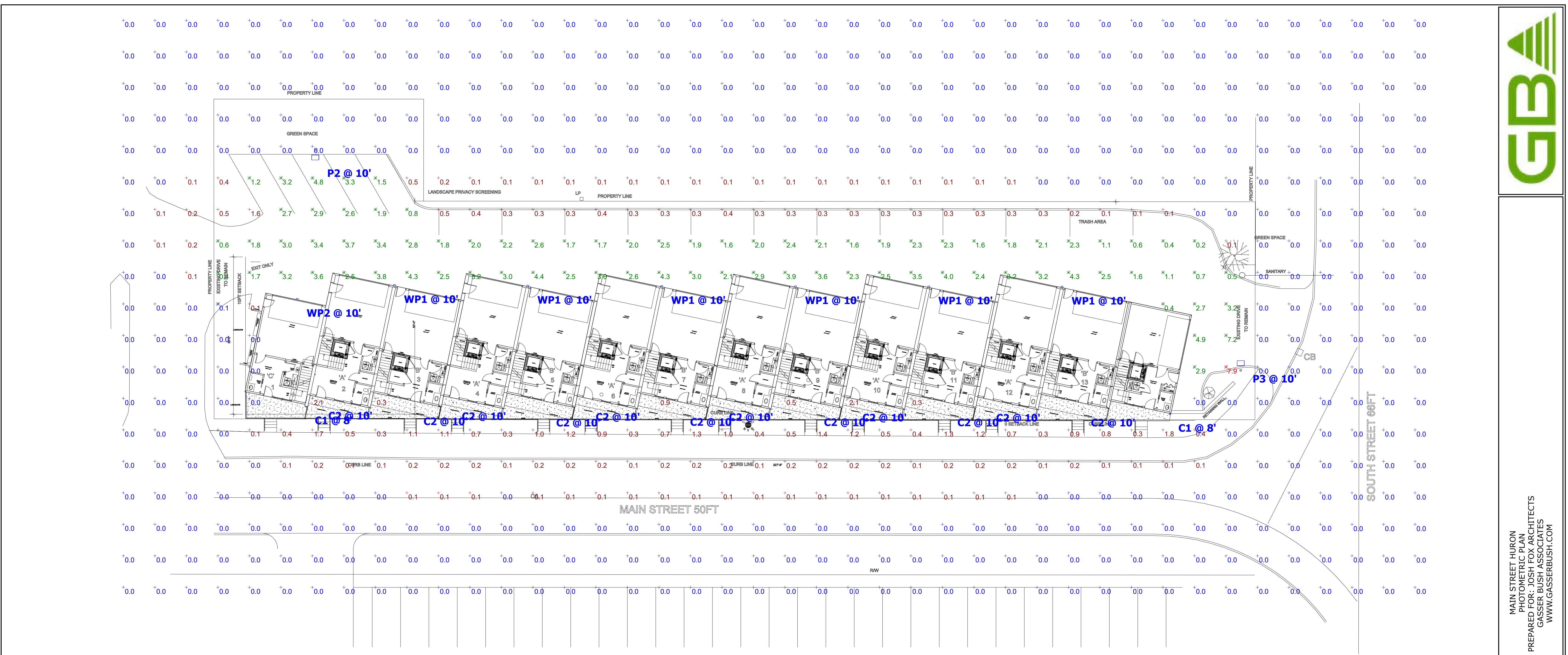
SEPT. 20, 2023

JOB NO. 2225

L1.0

CONCEPTUAL LANDSCAPE PLAN
SCALE: N.T.S.

(CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS)
(NOTE: DRAWINGS ARE NOT TO SCALE IF SHEET IS PLOTTED ON 11" x 17")



Plan View
Scale - 1" = 14ft

General Note

1. SEE DRAWING FOR LUMINAIRE MOUNTING HEIGHT.
2. CALCULATIONS ARE SHOWN IN FOOTCANDLES AT: 0' - 0"
3. ALTERNATE LIGHTING FIXTURES WILL NOT MEET CITY ORDINANCE COMPLIANCE DUE TO THE PRECISE OPTICAL AND OUTPUT PERFORMANCE SELECTED FOR THESE FIXTURES. ALTERNATE LIGHTING PROPOSALS MUST BE RECALCULATED AND RESUBMITTED TO THE CITY FOR APPROVAL. CONTACT LAYOUTS@GASSERBUSH.COM FOR ASSISTANCE WITH ALTERNATE OPTIONS NEEDED.

THE ENGINEER AND/OR ARCHITECT MUST DETERMINE APPLICABILITY OF THE LAYOUT TO EXISTING / FUTURE FIELD CONDITIONS. THIS LIGHTING LAYOUT REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY APPROVED METHODS. ACTUAL PERFORMANCE OF ANY MANUFACTURER'S LUMINAIRE MAY VARY DUE TO VARIATION IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, AND OTHER VARIABLE FIELD CONDITIONS. MOUNTING HEIGHTS INDICATED ARE FROM GRADE AND/OR FLOOR UP.

THESE LIGHTING CALCULATIONS ARE NOT A SUBSTITUTE FOR INDEPENDENT ENGINEERING ANALYSIS OF LIGHTING SYSTEM SUITABILITY AND SAFETY. THE ENGINEER AND/OR ARCHITECT IS RESPONSIBLE TO REVIEW FOR MICHIGAN ENERGY CODE AND LIGHTING QUALITY COMPLIANCE.







UNLESS EXEMPT, PROJECT MUST COMPLY WITH LIGHTING CONTROLS REQUIRMENTS DEFINED IN ASHRAE 90.1 2013. FOR SPECIFIC INFORMATION CONTACT GBA CONTROLS GROUP AT ASG@GASSERBUSH.COM OR 734-266-6705.

FOR ORDERING INQUIRIES CONTACT GASSER BUSH AT QUOTES@GASSERBUSH.COM OR 734-266-6705.

THIS DRAWING WAS GENERATED FROM AN ELECTRONIC IMAGE FOR ESTIMATION PURPOSE ONLY. LAYOUT TO BE VERIFIED IN FIELD BY OTHERS.

MOUNTING HEIGHT IS MEASURED FROM GRADE TO FACE OF FIXTURE. POLE HEIGHT SHOULD BE CALCULATED AS THE MOUNTING HEIGHT LESS BASE HEIGHT.

Statistics						
Description	Symbol	Avg	Max	Min	Avg/Min	Max/Min
Overall	+	0.4 fc	7.9 fc	0.0 fc	N/A	N/A
Parking Lot	✖	2.5 fc	7.9 fc	0.1 fc	25.0:1	79.0:1

Schedule								
Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lumens Per Lamp	Light Loss Factor	Wattage
	WP1	6	Lithonia Lighting	WDGE2 LED P3 40K 70CRI T2M	WDGE2 LED WITH P3 - PERFORMANCE PACKAGE, 4000K, 70CRI, TYPE 2 MEDIUM OPTIC	3628	0.9	32.1375
	WP2	1	Lithonia Lighting	WDGE2 LED P3 40K 70CRI TFTM	WDGE2 LED WITH P3 - PERFORMANCE PACKAGE, 4000K, 70CRI, TYPE FORWARD THROW MEDIUM OPTIC	3573	0.9	32.1375
	P2	1	Lithonia Lighting	DSX0 LED P1 40K 70CRI BLC4	D-Series Size 0 Area Luminaire P1 Performance Package 4000K CCT 70 CRI Type 4 Extreme Backlight Control	3599	0.9	33.21
	P3	1	Lithonia Lighting	DSX0 LED P1 40K 70CRI RCCO	D-Series Size 0 Area Luminaire P1 Performance Package 4000K CCT 70 CRI Right Corner Cutoff Extreme Backlight Control	3516	0.9	33.21
	C1	2	METEOR Lighting	LANCE 4 Series/ 20W (Down:10W Up:10W)/ 4000K(CRI85)/ Down:60deg Up:WW/ WLM	LA4-20-408-XXX-XXX-60WW-XXX-XXX	1308	0.9	20
	C2	12	Lithonia Lighting	WF4 LED 40K	4" MATTE WHITE LED ULTRA-THIN WAFER DOWNLIGHT, 4000K CCT, LEXTAR LED	770	0.9	10



MAIN STREET HURON
PHOTOMETRIC PLAN
PREPARED FOR: JOSH FOX ARCHITECTS
GASSER BUSH ASSOCIATES
WWW.GASSERBUSH.COM

Designer
DS
Date
09/18/2023
Scale
Not to Scale
Drawing No.
#23-19991 V1
1 of 1

LANCE 4

ARCHITECTURAL GRADE OUTDOOR WALL LUMINAIRE

Housing

Diameter : Ø4" | Height : 9.5" | Weight : 9.2 lbs

Material

Housing: High Pressure Die-Cast Aluminum

Lens: Tempered Glass

Power Input

20W, 30W | 120, 277V

Lumen Output

1,458 lm (20W) Uplight: 10W / Downlight: 10W

2,160 lm (30W) Uplight: 15W / Downlight: 15W

Dimming

Standard 0-10V: Dims to 10%

Superior 0-10V: Dims to 1 %

TRC: Linear line-voltage phase control, dims to 1%

Color Quality

CRI 85, CRI 93

Rated Life

> 60,000 Hours (L70)

Finish



Black



White



Gray



Bronze

Color Temperature



2700K



3000K



3500K



4000K

Optics



15°



30°



45°



60°



Wide

Warranty

5 Year limited warranty

Listing



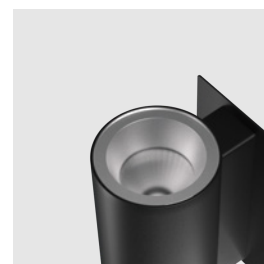
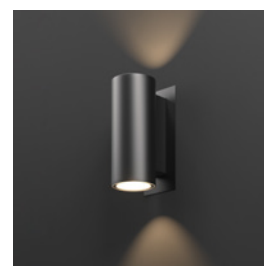
METEOR

SPECIFICATION SHEET
WHITE UP / DOWN

Designed for Timeless Exteriors

The Lance 4 is a high-performing range of architectural outdoor wall mounted luminaires, that delivers up to 2,160 lumens combined.

It's the perfect balance between decorative and functional, allowing you to graze brilliant surfaces and textures to make a bold after-dark statement.



meteor-lighting.com

FEATURES & SPECIFICATIONS

INTENDED USE — The 4", 6" and 8" Wafer™ LED Downlight with Switchable White provides high-quality light output and efficiency featuring a switch for easy color temperature adjustment - while eliminating the need for recessed housings. The innovative, slim design allows for easy retrofit, remodel or new construction installation from below the ceiling. The Wafer LED downlight is wet location listed – making it ideal for use in a breadth of outdoor residential, hospitality, commercial and multifamily applications. The LED module maintains at least 70% light output for 50,000 hours.

CONSTRUCTION — Aluminum die cast outer frame. Durable, powder coat paint to prevent rust. FT4 plenum rated cable connector to connect from module to remote driver box. IC rated driver with convenience and value of two remote selectable color temperature options, each with a setting choice to chose either 2700K, 3000K, and 3500K or 3000K, 4000K, and 5000K using the switch. The isolated driver integrated inside steel remote box with four 7/8" knockouts with slots for pryout. Suitable for pulling wires with the 12 cubic-inch wiring compartment to accommodate up to (6) 14 gauge insulated conductors, or (4) 12 gauge insulated conductors; making the Wafer LED Downlights much easier to wire in 2in/2out (plus ground) daisy-chain applications and contractor friendly.

INSTALLATION — Ideal for shallow ceiling plenum; no housing required. Steel spring clip for easy installation. 4", 6" or 8" cut out template is provided to ensure a correct sized hole is cut into ceiling for proper installation of the trim. Size of hole should not exceed 4-1/4" for the WF4, 6-1/4" for the WF6 and 8-1/4" for the WF8. Suitable for installation in t-grid and drop ceiling applications. 3" plenum space required for installation of the remote driver box.

OPTICS — Edge-lit LED technology uses light guided plate to distribute light. Polycarbonate lens provides even illumination throughout the space.

ELECTRICAL — Multi-volt (120-277V, 50/60Hz) proprietary remote LED driver/splice box, with two (2) additional low-voltage wires for 0-10v dimming, down to 10% (depending on dimmer model and application). High efficient driver with power factor > 0.9. Ambient operating temperature: -40°F (-40°C) to +104°F (+40°C). Replaces 65W incandescent (WF4), 75W incandescent (WF6) or 100W incandescent (WF8).

LISTINGS — CSA certified to US and Canadian safety standards. ENERGY STAR® certified. Suitable for wet location, covered ceiling. Air Tight certified in accordance with ASTM E283-2004. NOM Certified. Can be used to comply with California Title 24 Part 6 High Efficacy LED light Source Requirements.

WARRANTY — 5-year limited warranty. This is the only warranty provided and no other statements in this specification sheet create any warranty of any kind. All other express and implied warranties are disclaimed. Complete warranty terms located at:

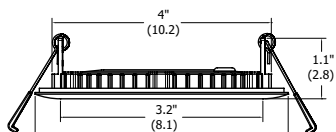
www.acuitybrands.com/support/warranty/terms-and-conditions

Note: Actual performance may differ as a result of end-user environment and application.

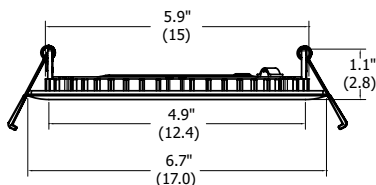
All values are design or typical values, measured under laboratory conditions at 25 °C.

Specifications subject to change without notice.

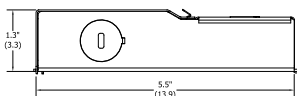
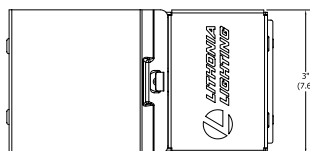
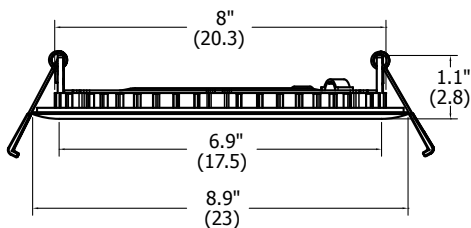
WF4



WF6



WF8



Catalog Number
Notes
Type

Wafer LED Recessed Downlight

WF4/WF6/WF8 MVOLT

4", 6" and 8" LED Switchable White Color Temperature

IC/Non-IC
New Construction/Remodel



Matte black



Brushed nickel



Oil-rubbed bronze

WF4 Specifications		WF6 Specifications		WF8 Specifications	
Aperture:	3.2 (8.1)	Aperture:	4.9 (12.4)	Aperture:	6.9"
Ceiling opening:	4.2 (10.7)	Ceiling opening:	6 (15.2)	Ceiling opening:	8"
Overlap trim:	4.7 (12.0)	Overlap trim:	6.7 (17)	Overlap trim:	8.9"
Height:	1.1 (2.8)	Height:	1.1 (2.8)	Height:	1.1"

All dimensions are inches (centimeters) unless otherwise indicated.



D-Series Size 0 LED Area Luminaire



Catalog
Number

Notes

Type

Hit the Tab key or mouse over the page to see all interactive elements.

d^{series}

Specifications

EPA: 0.44 ft²
(0.04 m²)

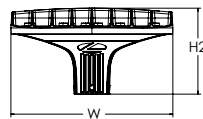
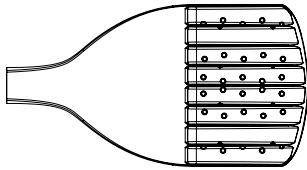
Length: 26.18"
(66.5 cm)

Width: 14.06"
(35.7 cm)

Height H1: 2.26"
(5.7 cm)

Height H2: 7.46"
(18.9 cm)

Weight: 23 lbs
(10.4 kg)



Introduction

The modern styling of the D-Series features a highly refined aesthetic that blends seamlessly with its environment. The D-Series offers the benefits of the latest in LED technology into a high performance, high efficacy, long-life luminaire.

The photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. D-Series outstanding photometry aids in reducing the number of poles required in area lighting applications, with typical energy savings of 70% and expected service life of over 100,000 hours.

Ordering Information

EXAMPLE: DSX0 LED P6 40K 70CRI T3M MVOLT SPA NLTAIR2 PIRHN DDBXD

DSX0 LED												
Series	LEDs	Color temperature ²	Color Rendering Index ²	Distribution		Voltage	Mounting					
DSX0 LED	Forward optics		(this section 70CRI only)	AFR	Automotive front row	T5M	Type V medium	MVOLT	(120V-277V) ⁴	Shipped included		
	P1	P5	30K 3000K	70CRI	T1S	Type I short	T5LG	Type V low glare	HVOLT	(347V-480V) ^{5,6}	SPA	Square pole mounting (#8 drilling, 3.5" min. SQ pole)
	P2	P6	40K 4000K	70CRI	T2M	Type II medium	T5W	Type V wide	XVOLT	(277V-480V) ^{7,8}	RPA	Round pole mounting (#8 drilling, 3" min. RND pole)
	P3	P7	50K 5000K	70CRI	T3M	Type III medium	BLC3	Type III backlight control ³	120 ^{16, 24}			
	P4		(this section 80CRI only, extended lead times apply)	T3LG	Type III low glare ³		BLC4	Type IV backlight control ³	208 ^{16, 24}		SPA5	Square pole mounting (#5 drilling, 3" min. SQ pole) ⁹
		Rotated optics		T4M	Type IV medium				240 ^{16, 24}			
	P10 ¹	P12 ¹		T4LG	Type IV low glare ³	LCCO	Left corner cutoff ³		277 ^{16, 24}		RPA5	Round pole mounting (#5 drilling, 3" min. RND pole) ⁹
	P11 ¹	P13 ¹		TFTM	Forward throw medium	RCCO	Right corner cutoff ³		347 ^{16, 24}			
									480 ^{16, 24}		SPA8N	Square narrow pole mounting (#8 drilling, 3" min. SQ pole)
											WBA	Wall bracket ¹⁰
										MA	Mast arm adapter (mounts on 2 3/8" OD horizontal tenon)	

Control options	Other options	Finish (required)
Shipped installed NLTAIR2 PIRHN nLight AIR gen 2 enabled with bi-level motion / ambient sensor, 8-40' mounting height, ambient sensor enabled at 2fc. ^{11, 12, 18, 19} PIR High/low, motion/ambient sensor, 8-40' mounting height, ambient sensor enabled at 2fc. ^{13, 18, 19} PER NEMA twist-lock receptacle only (controls ordered separately) ¹⁴ PER5 Five-pin receptacle only (controls ordered separately) ^{14, 19}	Shipped installed HS Houseside shield (black finish standard) ²⁰ L90 Left rotated optics ¹ R90 Right rotated optics ¹ CCE Coastal Construction ²¹ HA 50°C ambient operation ²² BAA Buy America(n) Act Compliant SF Single fuse (120, 277, 347V) ²⁴ DF Double fuse (208, 240, 480V) ²⁴ Shipped separately EGSR External Glare Shield (reversible, field install required, matches housing finish) BSDB Bird Spikes (field install required)	DDBXD Dark Bronze DBLXD Black DNAXD Natural Aluminum DWHXD White DDBTXD Textured dark bronze DBLBDX Textured black DNATXD Textured natural aluminum DWHGXD Textured white



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DSX0-LED
 Rev. 09/05/23
 Page 1 of 9

Ordering Information

Accessories

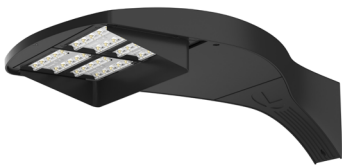
Ordered and shipped separately.

DLL127F 1.5 JU	Photocell - SSL twist-lock (120-277V) ²³
DLL347F 1.5 CUL JU	Photocell - SSL twist-lock (347V) ²³
DLL480F 1.5 CUL JU	Photocell - SSL twist-lock (480V) ²³
DSHORT SBK	Shorting cap ²³
DSX0HS P#	House-side shield (enter package number P1-7, P10-13 in place of #)
DSXRPA (FINISH)	Round pole adapter (#8 drilling, specify finish)
DSXRPA5 (FINISH)	Round pole adapter #5 drilling (specify finish)
DSXSPA5 (FINISH)	Square pole adapter #5 drilling (specify finish)
DSX0EGSR (FINISH)	External glare shield (specify finish)
DSX0SDB (FINISH)	Bird spike deterrent bracket (specify finish)

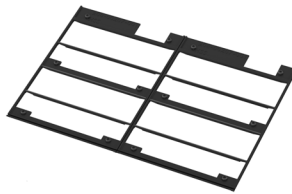
NOTES

- Rotated optics available with packages P10, P11, P12 and P13. Must be combined with option L90 or R90.
- 30K, 40K, and 50K available in 70CRI and 80CRI. 27K and 35K only available with 80CRI. Contact Technical Support for other possible combinations.
- T3LG, T4LG, BLC3, BLC4, LCCO, RCCO not available with option HS.
- MVOLT driver operates on any line voltage from 120-277V (50/60 Hz).
- HVOLT driver operates on any line voltage from 347-480V (50/60 Hz).
- MVOLT not available with package P1, P2 and P10 when combined with option NLTAIR2 PIRHN or option PIR.
- XVOLT operates with any voltage between 277V and 480V (50/60 Hz).
- XVOLT not available in packages P1, P2 or P10. XVOLT not available with fusing (SF or DF).
- SPA5 and RPA5 for use with #5 drilling only (Not for use with #8 drilling).
- WBA cannot be combined with Type 5 distributions plus photocell (PER).
- NLTAIR2 and PIRHN must be ordered together. For more information on nLight Air 2.
- NLTAIR2 PIRHN not available with other controls including PIR, PER, PER5, PER7, FAO, BL30, BL50 and DMG. NLTAIR2 PIRHN not available with P1, P2 and P10 using HVOLT. NLTAIR2 PIRHN not available with P1, P2 and P10 using XVOLT. NLTAIR2 PIRHN not available with P1 using MVOLT.
- PIR not available with NLTAIR2, PER, PER5, PER7, FAO BL30, BL50 and DMG. PIR not available with P1, P2 and P10 using HVOLT. PIR not available with P1, P2 and P10 using XVOLT. PIR not available with P1 using MVOLT.
- PER/PER5/PER7 not available with NLTAIR2, PIR, BL30, BL50. Photocell ordered and shipped as a separate line item from Acuity Brands Controls. See accessories. Shorting Cap included.
- FAO not available with other dimming control options NLTAIR2 PIRHN, PIR, PER5, PER7, BL30, BL50, or DMG.
- BL30 and BL50 are not available with NLTAIR2 PIRHN, PIR, PER, PER5, PER7, FAO and DMG. BL30 or BL50 must specify 120, 277 or 347V. Consult tech support for 208, 240 or 480V.
- DMG not available with NLTAIR2 PIRHN, PIR, PER, PER5, PER7, BL30, BL50 and FAO.
- Reference Motion Sensor Default Settings table on page 4 to see functionality.
- Reference Controls Options table on page 4.
- Option HS not available with T3LG, T4LG, BLC3, BLC4, LCCO and RCCO distribution. Also available as a separate accessory; see Accessories information.
- CCE option not available with option BS and EGSR. Contact Technical Support for availability.
- Option HA not available with performance packages P6, P7, P12 and P13.
- Requires luminaire to be specified with PER, PER5 or PER7 option. See Controls Table on page 4.
- Single fuse (SF) requires 120V, 277V, or 347V. Double fuse (DF) requires 208V, 240V or 480V. XVOLT not available with fusing (SF or DF).

Shield Accessories



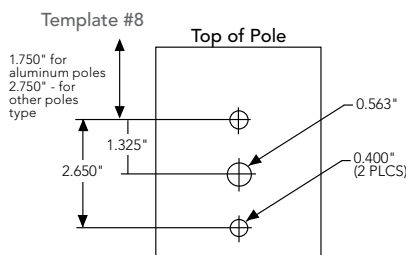
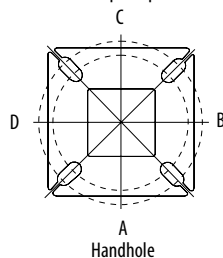
External Glare Shield (EGSR)



House Side Shield (HS)

Drilling

HANDHOLE ORIENTATION (from top of pole)



Tenon Mounting Slipfitter

Tenon O.D.	Mounting	Single Unit	2 @ 180	2 @ 90	3 @ 90	3 @ 120	4 @ 90
2-3/8"	RPA	AS3-5 190	AS3-5 280	AS3-5 290	AS3-5 390	AS3-5 320	AS3-5 490
2-7/8"	RPA	AST25-190	AST25-280	AST25-290	AST25-390	AST25-320	AST25-490
4"	RPA	AST35-190	AST35-280	AST35-290	AST35-390	AST35-320	AST35-490

Mounting Option	Drilling Template	Single	2 @ 180	2 @ 90	3 @ 90	3 @ 120	4 @ 90
Head Location		Side B	Side B & D	Side B & C	Side B, C & D	Round Pole Only	Side A, B, C & D
Drill Nomenclature	#8	DM19AS	DM28AS	DM29AS	DM39AS	DM32AS	DM49AS
Minimum Acceptable Outside Pole Dimension							
SPA	#8	3.5"	3.5"	3.5"	3.5"		3.5"
RPA	#8	3"	3"	3"	3"	3"	3"
SPA5	#5	3"	3"	3"	3"		3"
RPA5	#5	3"	3"	3"	3"	3"	3"
SPA8N	#8	3"	3"	3"	3"		3"

DSX0 Area Luminaire - EPA

*Includes luminaire and integral mounting arm. Other tenons, arms, brackets or other accessories are not included in this EPA data.

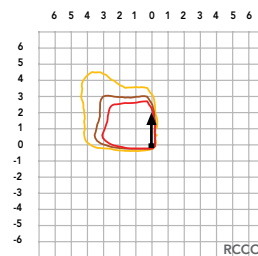
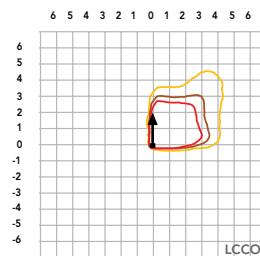
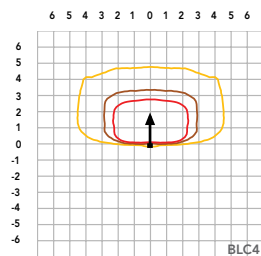
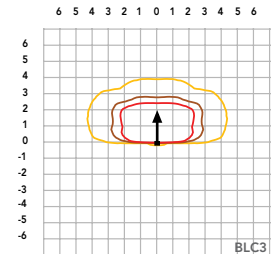
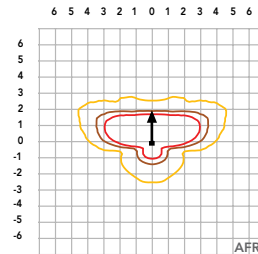
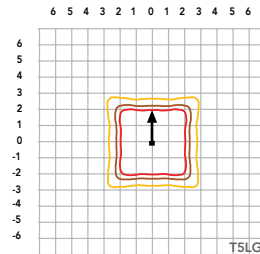
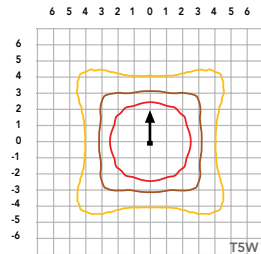
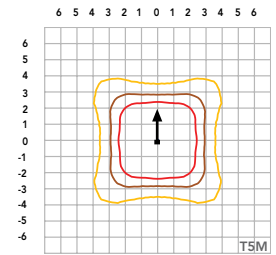
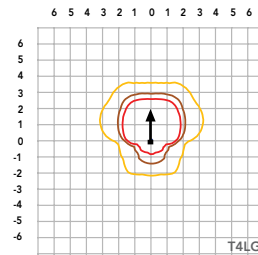
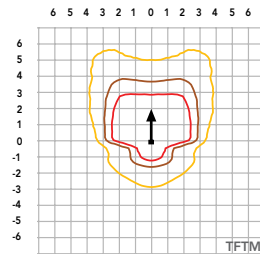
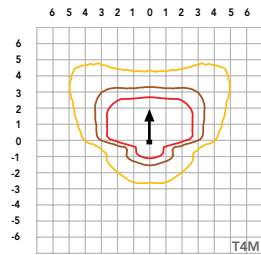
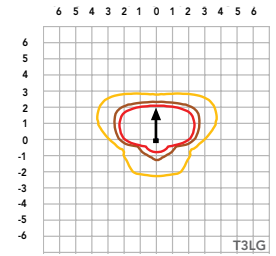
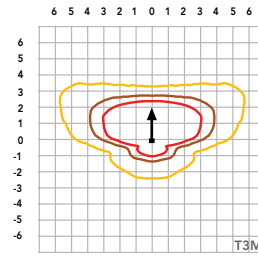
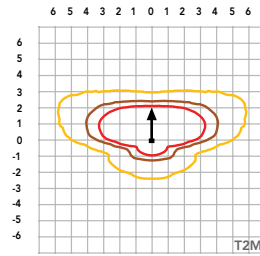
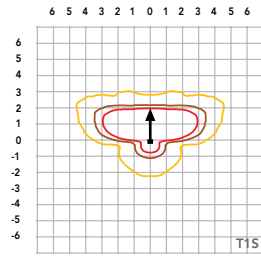
Fixture Quantity & Mounting Configuration	Single DM19	2 @ 180 DM28	2 @ 90 DM29	3 @ 90 DM39	3 @ 120 DM32	4 @ 90 DM49
Mounting Type						
DSX0 with SPA	0.44	0.88	0.96	1.18	---	1.16
DSX0 with SPA5, SPA8N	0.51	1.02	1.06	1.26	---	1.29
DSX0 with RPA, RPA5	0.51	1.02	1.06	1.26	1.24	1.29
DSX0 with MA	0.64	1.28	1.24	1.67	1.70	1.93

Photometric Diagrams

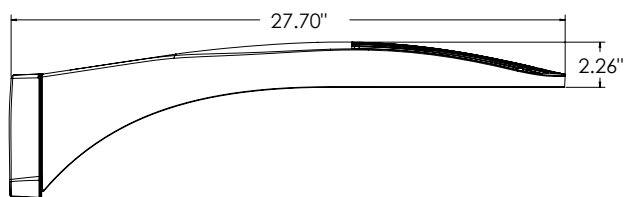
To see complete photometric reports or download .ies files for this product, visit Lithonia Lighting's [homepage](https://www.lithonia.com).

Isofootcandle plots for the DSX0 LED P7 40K 70CRI. Distances are in units of mounting height (20').

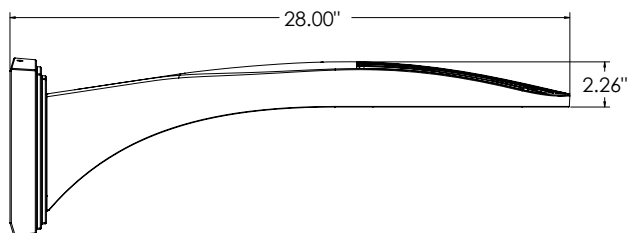
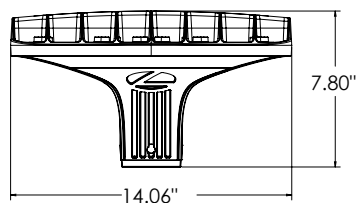
LEGEND



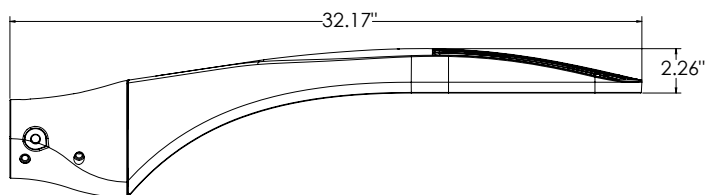
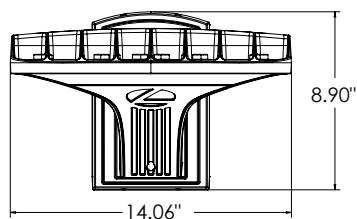
Dimensions



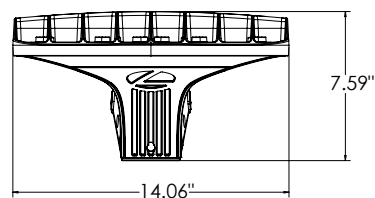
DSX0 with RPA, RPA5, SPA5, SPA8N mount
Weight: 25 lbs



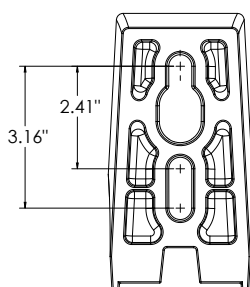
DSX0 with WBA mount
Weight: 27 lb



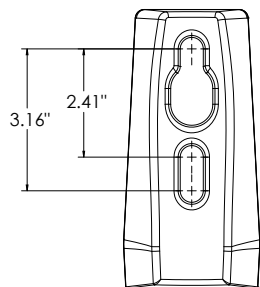
DSX0 with MA mount
Weight: 28 lbs



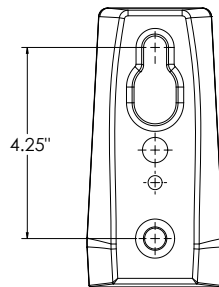
SPA (STANDARD ARM)



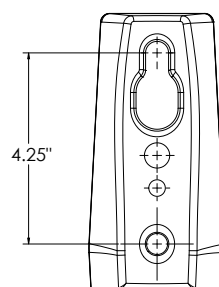
RPA



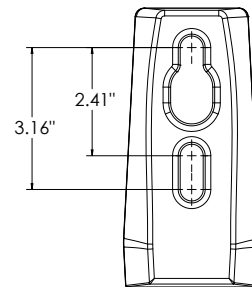
SPA5



RPA5

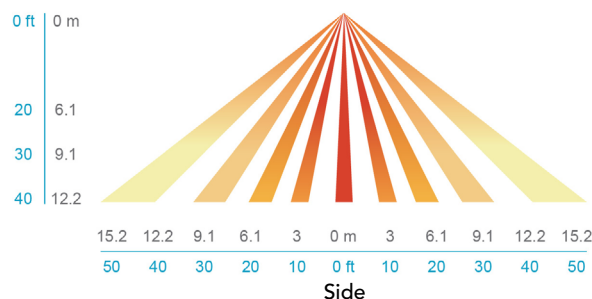
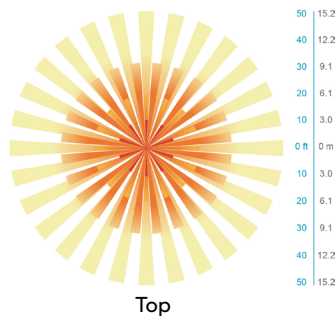
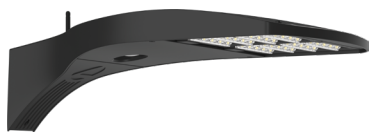


SPA8N



nLight Sensor Coverage Pattern

NLTAIR2 PIRHN



FEATURES & SPECIFICATIONS

INTENDED USE

The sleek design of the D-Series Size 0 reflects the embedded high performance LED technology. It is ideal for many commercial and municipal applications, such as parking lots, plazas, campuses, and pedestrian areas.

CONSTRUCTION

Single-piece die-cast aluminum housing has integral heat sink fins to optimize thermal management through conductive and convective cooling. Modular design allows for ease of maintenance and future light engine upgrades. The LED driver is mounted in direct contact with the casting to promote low operating temperature and long life. Housing driver compartment is completely sealed against moisture and environmental contaminants (IP66). Vibration rated per ANSI C136.31 for 3G. Low EPA (0.44 ft²) for optimized pole wind loading.

FINISH

Exterior parts are protected by a zinc-infused Super Durable TGIC thermoset powder coat finish that provides superior resistance to corrosion and weathering. A tightly controlled multi-stage process ensures a minimum 3 mils thickness for a finish that can withstand extreme climate changes without cracking or peeling. Available in both textured and non-textured finishes.

COASTAL CONSTRUCTION (CCE)

Optional corrosion resistant construction is engineered with added corrosion protection in materials and/or pre-treatment of base material under super durable paint. Provides additional corrosion protection for applications near coastal areas. Finish is salt spray tested to over 5,000 hours per ASTM B117 with scribe rating of 10. Additional lead-times may apply.

OPTICS

Precision-molded proprietary silicone lenses are engineered for superior area lighting distribution, uniformity, and pole spacing. Light engines are available in 3000 K, 4000 K or 5000 K (70 CRI) configurations. 80CRI configurations are also available. The D-Series Size 0 has zero uplight and qualifies as a Nighttime Friendly™ product, meaning it is consistent with the LEED® and Green Globes™ criteria for eliminating wasteful uplight.

ELECTRICAL

Light engine(s) configurations consist of high-efficacy LEDs mounted to metal-core circuit boards to maximize heat dissipation and promote long life (up to L80/100,000 hours at 25°C). Class 1 electronic drivers are designed to have a power factor >90%, THD <20%, and an expected life of 100,000 hours with <1% failure rate. Easily serviceable 10kV surge protection device meets a minimum Category C Low operation (per ANSI/IEEE C62.41.2).

STANDARD CONTROLS

The DSX0 LED area luminaire has a number of control options. DSX Size 0, comes standard with 0-10V dimming driver. Dusk to dawn controls can be utilized via optional NEMA twist-lock photocell receptacles. PIR integrated motion sensor with on-board photocell feature field-adjustable programming and are suitable for mounting heights up to 40 feet. Control option BL features a bi-level device that allows a second control circuit to switch all light engines to either 30% or 50% light output.

nLIGHT AIR CONTROLS

The DSX0 LED area luminaire is also available with nLight® AIR for the ultimate in wireless control. This powerful controls platform provides out-of-the-box basic motion sensing and photocontrol functionality and is suitable for mounting heights up to 40 feet. Once commissioned using a smartphone and the easy-to-use CLAIRITY app, nLight AIR equipped luminaires can be grouped, resulting in motion sensor and photocell group response without the need for additional equipment. Scheduled dimming with motion sensor over-ride can be achieved when used with the nLight Eclipse. Additional information about nLight Air can be found [here](#).

INSTALLATION

Integral mounting arm allows for fast mounting using Lithonia standard #8 drilling and accommodates pole drilling's from 2.41 to 3.12" on center. The standard "SPA" option for square poles and the "RPA" option for round poles use the #8 drilling. For #5 pole drillings, use SPA5 or RPA5. Additional mountings are available including a wall bracket (WBA) and mast arm (MA) option that allows luminaire attachment to a 2 3/8" horizontal mast arm.

LISTINGS

UL listed to meet U.S. and Canadian standards. UL Listed for wet locations. Light engines are IP66 rated; luminaire is IP66 rated. Rated for -40°C minimum ambient.

DesignLights Consortium® (DLC) Premium qualified product and DLC qualified product. Not all versions of this product may be DLC Premium qualified or DLC qualified. Please check the DLC Qualified Products List at www.designlights.org/QPL to confirm which versions are qualified.

International Dark-Sky Association (IDA) Fixture Seal of Approval (FSA) is available for all products on this page utilizing 3000K color temperature only.

BUY AMERICAN ACT

Product with the BAA option is assembled in the USA and meets the Buy America(n) government procurement requirements under FAR, DFARS and DOT regulations. Please refer to www.acuitybrands.com/buy-american for additional information.

WARRANTY

5-year limited warranty. This is the only warranty provided and no other statements in this specification sheet create any warranty of any kind. All other express and implied warranties are disclaimed. Complete warranty terms located at: www.acuitybrands.com/support/warranty/terms-and-conditions

Note: Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25 °C. Specifications subject to change without notice.



WDGE2 LED

Architectural Wall Sconce

Precision Refractive Optic



Catalog
Number

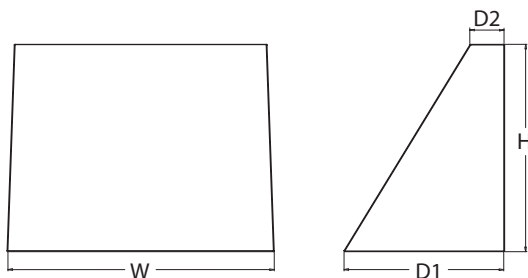
Notes

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Hit the Tab key or mouse over the page to see all interactive elements.

Specifications

Depth (D1):	7"
Depth (D2):	1.5"
Height:	9"
Width:	11.5"
Weight: (without options)	13.5 lbs



Introduction

The WDGE LED family is designed to meet specifier's every wall-mounted lighting need in a widely accepted shape that blends with any architecture. The clean rectilinear design comes in four sizes with lumen packages ranging from 1,200 to 25,000 lumens, providing a true site-wide solution. Embedded with nLight® AIR wireless controls, the WDGE family provides additional energy savings and code compliance.

WDGE2 with industry leading precision refractive optics provides great uniform distribution and optical control. When combined with multiple integrated emergency battery backup options, including an 18W cold temperature option, the WDGE2 becomes the ideal wall-mounted lighting solution for pedestrian scale applications in any environment.

WDGE LED Family Overview

Luminaire	Optics	Standard EM, 0°C	Cold EM, -20°C	Sensor	Approximate Lumens (4000K, 80CRI)						
					P0	P1	P2	P3	P4	P5	P6
WDGE1 LED	Visual Comfort	4W		--	750	1,200	2,000	--	--	--	--
WDGE2 LED	Visual Comfort	10W	18W	Standalone / nLight	--	1,200	2,000	3,000	4,500	6,000	--
WDGE2 LED	Precision Refractive	10W	18W	Standalone / nLight	700	1,200	2,000	3,200	4,200	--	--
WDGE3 LED	Precision Refractive	15W	18W	Standalone / nLight	--	7,500	8,500	10,000	12,000	--	--
WDGE4 LED	Precision Refractive			Standalone / nLight	--	12,000	16,000	18,000	20,000	22,000	25,000

Ordering Information

EXAMPLE: WDGE2 LED P3 40K 80CRI VF MVOLT SRM DDBXD

Series	Package	Color Temperature	CRI	Distribution	Voltage	Mounting	
WDGE2 LED	P0 ¹	27K 2700K	70CRI ⁴	T1S Type I Short	MVOLT	Shipped included	
	P1 ²	30K 3000K	80CRI	T2M Type II Medium	347 ⁵	SRM	Surface mounting bracket
	P2 ²	40K 4000K	LW ³ Limited Wavelength	T3M Type III Medium	480 ⁵	ICW	Indirect Canopy/Ceiling Washer bracket (dry/damp locations only) ⁶
	P3 ²	50K 5000K		T4M Type IV Medium			
	P4 ²	AMB ³ Amber		TFTM Forward Throw Medium			
	</						

Options			Finish	
E10WH	Emergency battery backup, Certified in CA Title 20 MAEDBS (10W, 5°C min)	Standalone Sensors/Controls PIR Bi-level (100/35%) motion sensor for 8-15' mounting heights. Intended for use on switched circuits with external dusk to dawn switching. PIRH Bi-level (100/35%) motion sensor for 15-30' mounting heights. Intended for use on switched circuits with external dusk to dawn switching PIR1FC3V Bi-level (100/35%) motion sensor for 8-15' mounting heights with photocell pre-programmed for dusk to dawn operation. PIRH1FC3V Bi-level (100/35%) motion sensor for 15-30' mounting heights with photocell pre-programmed for dusk to dawn operation. Networked Sensors/Controls NLTAIR2 PIR nLightAIR Wireless enabled bi-level motion/ambient sensor for 8-15' mounting heights. NLTAIR2 PIRH nLightAIR Wireless enabled bi-level motion/ambient sensor for 15-30' mounting heights. See page 4 for out of box functionality	DDBXD	Dark bronze
E20WC	Emergency battery backup, Certified in CA Title 20 MAEDBS (18W, -20°C min)		DBLXD	Black
PE ⁷	Photocell, Button Type		DNAXD	Natural aluminum
DMG ⁸	0-10V dimming wires pulled outside fixture (for use with an external control, ordered separately)		DWHXD	White
BCE	Bottom conduit entry for back box (PBBW). Total of 4 entry points.		DSSXD	Sandstone
BAA	Buy America(n) Act Compliant		DDBTXD	Textured dark bronze
		DBLBXD	Textured black	
		DNATXD	Textured natural aluminum	
		DWHGXD	Textured white	
		DSSTXD	Textured sandstone	



COMMERCIAL OUTDOOR

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WDGE2 LED
Rev. 11/21/22

Motion/Ambient Sensor (PIR, PIRH)

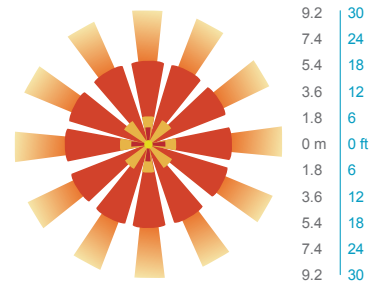
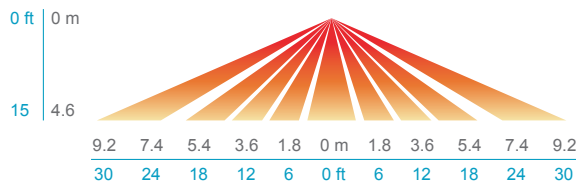
Motion/Ambient sensor (Sensor Switch MSOD) is integrated into the the luminaire. The sensor provides both Motion and Daylight based dimming of the luminaire. For motion detection, the sensor utilizes 100% Digital Passive Infrared (PIR) technology that is tuned for walking size motion while preventing false tripping from the environment. The integrated photocell enables additional energy savings during daytime periods when there is sufficient daylight. Optimize sensor coverage by either selecting PIR or PIRH option. PIR option comes with a sensor lens that is optimized to provide maximum coverage for mounting heights between 8-15ft, while PIRH is optimized for 15-40ft mounting height.

Networked Control (NLTAIR2)

nLight® AIR is a wireless lighting controls platform that allows for seamless integration of both indoor and outdoor luminaires. Five-tier security architecture, 900 MHz wireless communication and app (CLAIRITY™ Pro) based configurability combined together make nLight® AIR a secure, reliable and easy to use platform.

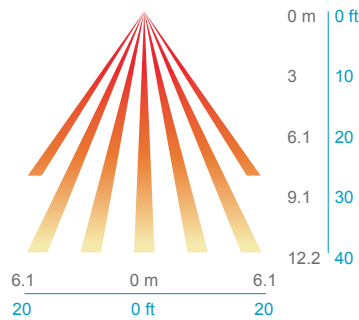
PIR

HIGH VIEW

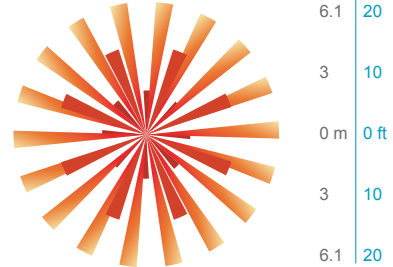


PIRH

SIDE VIEW



TOP VIEW



Option	Dim Level	High Level (when triggered)	Photocell Operation	Motion Time Delay	Ramp-down Time	Ramp-up Time
PIR or PIRH	Motion - 3V (37% of full output) Photocell - 0V (turned off)	10V (100% output)	Enabled @ 5fc	5 min	5 min	Motion - 3 sec Photocell - 45 sec
PIR1FC3V, PIRH1FC3V	Motion - 3V (37% of full output) Photocell - 0V (turned off)	10V (100% output)	Enabled @ 1fc	5 min	5 min	Motion - 3 sec Photocell - 45 sec
NLTAIR2 PIR, NLTAIR2 PIRH (out of box)	Motion - 3V (37% of full output) Photocell - 0V (turned off)	10V (100% output)	Enabled @ 5fc	7.5 min	5 min	Motion - 3 sec Photocell - 45 sec



Motion/Ambient Sensor

D = 7"

H = 9" (Standalone controls)

11" (nLight AIR controls, 2" antenna will be pointing down behind the sensor)

W = 11.5"



PBBW – Surface-Mounted Back Box

Use when there is no junction box available.

D = 1.75"

H = 9"

W = 11.5"



AWS – 3/8inch Architectural Wall Spacer

D = 0.38"

H = 4.4"

W = 7.5"

FEATURES & SPECIFICATIONS

INTENDED USE

Common architectural look, with clean rectilinear shape, of the WDGE LED was designed to blend with any type of construction, whether it be tilt-up, frame or brick. Applications include commercial offices, warehouses, hospitals, schools, malls, restaurants, and other commercial buildings.

CONSTRUCTION

The single-piece die-cast aluminum housing integrates secondary heat sinks to optimize thermal transfer from the internal light engine heat sinks and promote long life. The driver is mounted in direct contact with the casting for a low operating temperature and long life. The die-cast door frame is fully gasketed with a one-piece solid silicone gasket to keep out moisture and dust, providing an IP66 rating for the luminaire.

FINISH

Exterior painted parts are protected by a zinc-infused Super Durable TGIC thermoset powder coat finish that provides superior resistance to corrosion and weathering. A tightly controlled multi-stage process ensures a 3 mils thickness for a finish that can withstand extreme climate changes without cracking or peeling. Standard Super Durable colors include dark bronze, black, natural aluminum, sandstone and white. Available in textured and non-textured finishes.

OPTICS

Individually formed acrylic lenses are engineered for superior application efficiency which maximizes the light in the areas where it is most needed. The WDGE LED has zero uplight and qualifies as a Nighttime Friendly™ product, meaning it is consistent with the LEED® and Green Globes™ criteria for eliminating wasteful uplight.

ELECTRICAL

Light engine consists of high-efficacy LEDs mounted to metal-core circuit boards to maximize heat dissipation and promote long life (up to L91/100,000 hours at 25°C). The electronic driver has a power factor of >90%, THD <20%. Luminaire comes with built in 6kV surge protection, which meets a minimum Category C low exposure (per ANSI/IEEE C62.41.2). Fixture ships standard with 0-10v dimmable driver.

INSTALLATION

A universal mounting plate with integral mounting support arms allows the fixture to hinge down for easy access while making wiring connections. The 3/8" Architectural Wall Spacer (AWS) can be used to create a floating appearance or to accommodate small imperfections in the wall surface. The ICW option can be used to mount the luminaire inverted for indirect lighting in dry and damp locations. Design can withstand up to a 1.5 G vibration load rating per ANSI C136.31.

LISTINGS

CSA certified to U.S. and Canadian standards. Luminaire is IP66 rated. PIR options are rated for wet location. Rated for -40°C minimum ambient. DesignLights Consortium® (DLC) Premium qualified product and DLC qualified product. Not all versions of this product may be DLC Premium qualified or DLC qualified. Please check the DLC Qualified Products List at www.designlights.org/QPL to confirm which versions are qualified. International Dark-Sky Association (IDA) Fixture Seal of Approval (FSA) is available for all products on this page utilizing 2700K and 3000K color temperature only and SRM mounting only.

BUY AMERICAN ACT

Product with the BAA option is assembled in the USA and meets the Buy America(n) government procurement requirements under FAR, DFARS and DOT regulations.

Please refer to www.acuitybrands.com/buy-american for additional information.

WARRANTY

5-year limited warranty. This is the only warranty provided and no other statements in this specification sheet create any warranty of any kind. All other express and implied warranties are disclaimed. Complete warranty terms located at:

www.acuitybrands.com/support/warranty/terms-and-conditions

Note: Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25 °C. Specifications subject to change without notice.